



CITY OF STOCKTON

COMMUNITY DEVELOPMENT DEPARTMENT

PermitCenter ○ 345 N. El Dorado Street ○ Stockton, CA 95207 ○ (209) 937-8444 ○ Fax (209) 937-8893
www.stocktonca.gov

9/30/2021

Dayton Allegra
4350 La Jolla Village Drive, Suite 900
San Diego, CA 92122
dallegra@westcore.net

Site Plan Review Comments for P21-0905 (1515 Fresno Av; APN: 163-370-34)

SITE PLAN REVIEW STATUS

This letter provides the City of Stockton's review of Application No. P21-0905, reviewed on 9/29/2021, for the development of the following:

Site Plan Review for a new fleet parking area and associated pavement and drainage system improvements, including accessory structure to existing building and landscaping.

The site is located within the Industrial, General (IG) Zoning District at 1515 Fresno Avenue, herein referred to as the "Project." This letter identifies the information required to continue with review of the application.

On 9/29/2021 and in conformance with SMC §16.120.060(C) and SMC §16.152.050, the Site Plan Review Committee (SPRC) reviewed the application and are requiring corrections to the proposed site plan and which are responsive to SMC §16.152.050(C)(3)(c). The Director concurs with the SPRC recommendation. Comments from each department are noted below.

Please note, per SMC 16.84.050(A)(1)(c)(i), if a project has remained inactive for more than 90 days, it is automatically deemed withdrawn. Please resubmit the necessary information to process your Project prior to December 29, 2021.

DEPARTMENT COMMENTS

Engineering Division, CDD: Thomas Livensparger

1. Apply for deferred improvement agreement for frontage improvements along Navy Dr. Apply with CDD-Engineering (Thomas Livensparger)
2. What are CalTrans requirements for the frontage improvements along Charter Way?
3. Remove and replace interim improvements along Fresno Ave. with permanent. Submit frontage offsite improvement plans for Fresno Ave. to CDD -Engineering (Attn: Willie Wong)

Site Plan Review Committee Meeting

at willie.wong@stocktonca.gov) For installation of curb, gutter, sidewalk and driveway approaches along frontages (one access along Navy is to be S.J. County Std. R-17).

4. Consult with the Fresno Avenue Specific Road Plan for any required dedications. (5' ROW dedication). Dedications are processed with City Real Property Division- Amanda Thomas (Amanda.thomas@stocktonca.gov)
5. Gate along Navy Dr. to remain open during business hours. Existing 2nd gate in the site is be setback far enough for the longest truck entering the site is clear of the public right of way. No queuing/stacking in any public right of ways.
6. Dimension all features in the scope of project (drive aisles, setbacks, driveway approaches, easements, parking stalls, etc.)
7. Indicate the type of trucks using this site. Provide a truck turning template for ingress and egress for the largest trucks entering and leaving.
8. All work performed in the public right of way will require a separate City encroachment permit prior to the start of work. Encroachment permits are obtained at CDD-Engineering (Permit Center)
9. Show all existing property pins and add a note to protect in place.

Public Works Department: Dodgie Vidad

See engineering comments above.

Building Division, CDD: John Schweigerdt

1. The existing property line has inconsistencies, including buildings and development across property lines, which will need to be addressed as part of this project. A lot line adjustment or lot merger is required.
2. Clarify if the parking lot is accessed by the public and review CA Building Code (CBC) Section 11B-208.1, Exc. 1. If so, provide accessible parking stalls in accordance with CBC Chapter 11B, Division 5. Accessible parking stalls shall be located on the shortest accessible route with the building(s) served.
3. Provide an accessible route to the proposed restroom building from each building served by the restroom. The accessible route shall be in accordance with CBC Chapter 11B, Division 4. Please also review new code section 11B-250 for compliance of the accessible route.

Building Division, Landscape Architecture, CDD: Dayle Henry

4. Overall, the Preliminary Landscape Plan meets the intent of the City's requirements. Please note that Landscape Construction Plans will be required with the submittal of the Building Plans, and shall meet all requirements of MWEL0, including water calculations and applicable Planting and Irrigation Specifications and Details.

Municipal Utilities Department: John Wotila

1. Provide a Stormwater Quality Control Plan and WDID number for the State approved Stormwater Pollution Prevention Plan.

Fire Department: Phil Simon

1. Identify gate function on Navy Drive driveway entrance. Are gates automated or manually operated?

Site Plan Review Committee Meeting

2. The site has an existing private fire hydrant system. It is shared with the neighboring property on Fresno Avenue. The existing on-site fire hydrants need to be accessible, visible and unobstructed. If need to be relocated due to parking stall arrangement, a fire permit will be required for any fire line and/or fire hydrant work. In addition, each fire hydrant shall have crash post protection installed.
3. Existing telephone poles/utility poles in the yard need to be protected from vehicular impact.
4. An exhibit shall be provided that demonstrates truck maneuvering in the yard. Fire apparatus need to have a turning area once inside the yard.

Police Department: Jeanetta

There are no issues or concerns from Code Enforcement. – Alex Martinez

CEQA ANALYSIS

The proposed use is a ministerial project and is already exempt from CEQA analysis under CEQA Guidelines §15300.1, "Relation to Ministerial Projects," and the approval is not subject to SMC §16.88.040 (Environmental Determination).

NEXT STEPS

Please submit one (1) electronic set of plans and technical documents addressing the comments listed in this letter. The bulleted items below outline the remaining steps for the Project.

1. Completeness Review: Once received, the revised application materials will be routed for internal review. A written response to the materials will be provided within 30 days after submittal.
2. Design Review: A formal letter of approval will be issued with the approval of the Site Plan Review Letter.
3. Construction Permits: Site Plan Review Approval and Design Review Approval, a Building Permit application may be filed with the Stockton Building & Life Safety Division for construction purposes. Alternatively, you may propose, at your own risk, the concurrent review of planning and building permits in advance of issuance of a Site Plan Review Permit and Design Review approval.

WHO TO CONTACT

Please use the table below to contact individuals at each department for specific comments related to any comments included in this letter.

Site Plan Review Committee Meeting

NAME	CITY DEPARTMENT	PHONE NUMBER & EMAIL
Cynthia Marsh Senior Planner	CDD Planning Department	209-937-8316 cynthia.marsh@stocktonca.gov
Thomas Livensparger Junior Engineer	CDD Planning/Engineering	209-937-8268 thomas.livensparger@stocktonca.gov
Eric Alvarez Public Works Deputy Director	Public Works	209-937-8228 eric.alvarez@stocktonca.gov
Dodgie Vidad City Traffic Engineer	Public Works	209-937-8237 dodgie.vidad@stocktonca.gov
John Schweigerdt Building Official	CDD Building Department	209.937.8565 john.schweigerdt@stocktonca.gov
Dayle Henry Senior Plan Checker, Landscape Architect	CDD Building Department	209.937.7589 dayle.henry@stocktonca.gov
Phil Simon Assistant Fire Marshall	Fire Department	209-937-8315 phil.simon@stocktonca.gov
John Wotila Associate Engineer	Municipal Utilities Department	209-937-8436 john.wotila@stocktonca.gov

Alex Guilbert

From: Cynthia Munoz <cynthia@stoeckerandnorthway.com>
Sent: Monday, January 3, 2022 1:02 PM
To: Alex Guilbert
Cc: 'Dayton Allegra'
Subject: P21-1254 Historic Demolition application withdrawal

CAUTION: This email originated from outside the City of Stockton. Do not click any links or open attachments if this is unsolicited email.

Hi Alex,

Per our discussion earlier, please accept this email as a request to withdraw the historic demolition application P21-1254.

We will plan to resubmit once the owner's new development application has been completed and look to address the additional items we discussed at the same time.

Thank you!
Cynthia

Cynthia Muñoz, Architect, LEED AP BD+C
Principal

Stoecker and Northway Architects, Inc.
4633 Old Ironsides Dr., Suite 130
Santa Clara, CA 95054
o. 650.965.3500
m. 650-269-0302
www.stoeckerandnorthway.com

From: Alex Guilbert [mailto:Alex.Guilbert@stocktonca.gov]
Sent: Tuesday, December 21, 2021 11:58 AM
To: Cynthia Munoz
Subject: P21-1254 Online Payment Information

Thank you for submitting a new Planning Application.

This email is to acknowledge receipt and notify you that payment for the referenced application/record number (P21-1254) can now be made. **Payment is required to begin application processing.**

Step 1: Review the Guide to Paying Fees Online ([click here](#)).

Step 2: Go to Website (<https://aca-prod.accela.com/stockton/Default.aspx>) and make payment. You do not need to create an account to make a payment.

Step 3: Once payment is completed, we will be automatically notified, and the application will be assigned to a staff planner for processing. That person will contact you with an introduction and to exchange contact information.

Thank you,

Alex



Alex Guilbert
Senior Planner

Community Development Department
345 N. El Dorado Street, Stockton CA 95202
Office: 209.937.8266 Direct: 209.937.7095

For City of Stockton Updates on COVID-19 please visit:

Twitter [@stocktonUpdates](#)

Facebook [@CityofStockton](#)

City Website <http://www.stocktonca.gov>

From: Cynthia Munoz <cynthia@stoeckerandnorthway.com>
Sent: Thursday, December 9, 2021 12:00 PM
To: Alex Guilbert <Alex.Guilbert@stocktonca.gov>
Subject: RE: potential demo of corner building at 1515 Fresno Ave.

CAUTION: This email originated from outside the City of Stockton. Do not click any links or open attachments if this is unsolicited email.

Hi Alex,

Attached is an application signed by the owner. Please advise on next steps for payment instructions.

Thank you!
Cynthia

Cynthia Muñoz, Architect, LEED AP BD+C
Principal

Stoecker and Northway Architects, Inc.
4633 Old Ironsides Dr., Suite 130
Santa Clara, CA 95054
o. 650.965.3500
m. 650-269-0302
www.stoeckerandnorthway.com

From: Alex Guilbert [<mailto:Alex.Guilbert@stocktonca.gov>]
Sent: Thursday, December 02, 2021 4:22 PM
To: Cynthia Munoz
Subject: RE: potential demo of corner building at 1515 Fresno Ave.

Hi,

I reviewed the document and this will need to go through the Historic Demolition process. You will need to complete the application, with property owner signatures, and return it to me. Then I will send you the payment information.

The planning application, and fee schedule can be found online at:
<http://www.stocktongov.com/government/departments/permitcenter/planapp.html>

Thank you,

Alex



Alex Guilbert
Senior Planner
Community Development Department
345 N. El Dorado Street, Stockton CA 95202
Office: 209.937.8266 Direct: 209.937.7095

[For City of Stockton Updates on COVID-19 please visit:](#)

Twitter [@stocktonUpdates](#)

Facebook [@CityofStockton](#)

City Website <http://www.stocktonca.gov>

From: Cynthia Munoz <cynthia@stoeckerandnorthway.com>

Sent: Tuesday, November 30, 2021 9:05 AM

To: Alex Guilbert <Alex.Guilbert@stocktonca.gov>

Subject: RE: potential demo of corner building at 1515 Fresno Ave.

CAUTION: This email originated from outside the City of Stockton. Do not click any links or open attachments if this is unsolicited email.

Thanks Alex - the reason I was confirming is the corner building (referenced as Building 16C in the email you attached) is now proposed to be fully demolished and you had advised in that case, that we needed to get a report for that.

Originally, my understanding was the "unsafe" determination was applicable to the accessory structures and previously proposed partial demo of building 16C, but the full demo required the report.

Just to make sure, I've attached the historic evaluation for the corner building. If it's for certain this one can also fall under the previous unsafe determination, we can go ahead to the demo permit through the building dept. as you noted.

Thank you!
Cynthia

Cynthia Muñoz, Architect, LEED AP BD+C
Principal

Stoecker and Northway Architects, Inc.
4633 Old Ironsides Dr., Suite 130
Santa Clara, CA 95054
o. 650.965.3500
m. 650-269-0302
www.stoeckerandnorthway.com

From: Alex Guilbert [<mailto:Alex.Guilbert@stocktonca.gov>]

Sent: Tuesday, November 30, 2021 7:23 AM

To: Cynthia Munoz

Subject: RE: potential demo of corner building at 1515 Fresno Ave.

Good morning,

The structures were determined to be unsafe by the Chief Building Official, which makes them exempt from the historic demolition process.

You just need to go straight to Building Permit for Demolition through the Building Division.

If you have any additional information about the property, i.e. reports prepared by historic resource consultants. Please forward them to me and I will add them to the planning file.

Thank you,

Alex



Alex Guilbert
Senior Planner

Community Development Department
345 N. El Dorado Street, Stockton CA 95202
Office: 209.937.8266 Direct: 209.937.7095

For City of Stockton Updates on COVID-19 please visit:

Twitter [@stocktonUpdates](#)

Facebook [@CityofStockton](#)

City Website <http://www.stocktonca.gov>

From: Cynthia Munoz <cynthia@stoeckerandnorthway.com>

Sent: Monday, November 29, 2021 4:14 PM

To: Alex Guilbert <Alex.Guilbert@stocktonca.gov>

Subject: RE: potential demo of corner building at 1515 Fresno Ave.

CAUTION: This email originated from outside the City of Stockton. Do not click any links or open attachments if this is unsolicited email.

Hi Alex,

Since this last email, the property owners did obtain a report from a historic resource consultant, which seems to indicate the building has been modified so much that it's significantly altered any historical significance. But I assume we need to submit it, along with some plans and photos per what the code section outlines. What I wasn't totally clear on is:

1. What process on the application form would I select for the Preliminary Determination? Would it be the first box for administrative interpretation or do I check "Other"?

<http://www.stocktongov.com/files/PlanningApplication.pdf>

2. If this is reviewed and approved by Planning, do we then follow the subsequent process of a demo permit through Building? Or is there some sort of concurrent review?

Thanks!
Cynthia

Cynthia Muñoz, Architect, LEED AP BD+C
Principal

Stoecker and Northway Architects, Inc.
4633 Old Ironsides Dr., Suite 130
Santa Clara, CA 95054
o. 650.965.3500
m. 650-269-0302
www.stoeckerandnorthway.com

From: Alex Guilbert [<mailto:Alex.Guilbert@stocktonca.gov>]

Sent: Friday, September 03, 2021 1:52 PM

To: Cynthia Munoz

Subject: RE: potential demo of corner building at 1515 Fresno Ave.

Hi,

That building is older than 50 years old. I've attached a page from the 1971 Sanborn Fire Insurance Map. A Historic Resource Study will be required researching the history of the site, the completion of a Department of Parks and Recreation 523 form, and an analysis addressing the structure's eligibility to be listed on the local, state, and or national registers.

The State maintains a Historical Resources Consultants List at: <http://www.chrisinfo.org/>
You may have any consultant contact me directly with any questions.

Here's Section 16.220.105 of the Stockton Municipal Code for demolition or relocation of historic resources:
http://qcode.us/codes/stockton/view.php?topic=16-16_220-16_220_105&frames=on

-Alex



Alex Guilbert
Senior Planner
Community Development Department
345 N. El Dorado Street, Stockton CA 95202
Office: 209.937.8266 Direct: 209.937.7095

For City of Stockton Updates on COVID-19 please visit:

Twitter [@stocktonUpdates](https://twitter.com/stocktonUpdates)
Facebook [@CityofStockton](https://www.facebook.com/CityofStockton)
City Website <http://www.stocktonca.gov>

From: Cynthia Munoz <cynthia@stoeckerandnorthway.com>
Sent: Friday, September 3, 2021 1:04 PM
To: Alex Guilbert <Alex.Guilbert@stocktonca.gov>
Cc: 'John Wang' <JohnW@stoeckerandnorthway.com>
Subject: potential demo of corner building at 1515 Fresno Ave.

CAUTION: This email originated from outside the City of Stockton. Do not click any links or open attachments if this is unsolicited email.

Hi Alex,

The property owners of 1515 Fresno Ave. is now looking at demolishing a building on the corner of the site. I attached a site plan showing the building's location (highlighted in yellow) and a couple of photos showing the street side and the parking lot sides, just to give you some context.

Per 16.220.105, I wanted to make sure we're clear on the required steps -

1) First we have to try to identify the age of the structure (research permit history, any other records, etc.). If we can prove it is less than 50 years old, it can go straight to the demo permit process. If over 50 years - step 2...
2) Research to see if we can find the property or structure identified in any register listing it as a historical resource.

- Would we be required to present findings conducted by a historical resources consultant? Or can we do our best due diligence through our own research and report what we find or don't find?

- Present findings along with materials listed in section D.1. of the code section.
- If we find it is not historically significant or contributing, Director makes preliminary determination per the timeline noted in the code. Demo permit may be issued.

- If there are findings of historical significance, the owner can choose to stop at that point, or proceed to next steps which it sounds like may involve a public hearing and planning commission.

Does this sound generally correct?

Thanks!
Cynthia

Cynthia Muñoz, Architect, LEED AP BD+C
Principal

Stoecker and Northway Architects, Inc.
4633 Old Ironsides Dr., Suite 130
Santa Clara, CA 95054
o. 650.965.3500
m. 650-269-0302
www.stoeckerandnorthway.com



CITY OF STOCKTON

COMMUNITY DEVELOPMENT DEPARTMENT

345 North El Dorado Street • Stockton, CA 95202-1997 • (209) 937-8266 • Fax (209) 937-8893

November 10, 2022

Phillip King
Ware Malcomb
4683 Chabot Drive, Suite 300
Pleasanton, CA 94588
pking@waremalcomb.com

RE: Site Plan Review and Design Review Application (P22-0020) for 1515 Fresno Av; APN: 163-370-34.

This letter provides the City of Stockton's approval of the Site Plan Review and Design Review Application (P22-0020) for a proposed 190,890± square foot speculative industrial building with two offices totaling 6,480 square feet and associated site improvements located within the IG (Industrial, General) Zoning District with a General Plan land use designation of Industrial at 1515 Fresno Avenue, herein referred to as the "Project." This approval is limited to the Architectural Review Committee and Site Plan Review Committee recommendation and on the findings and conditions of approval in this letter.

Analysis

The project area is located on a 9.9± acre undeveloped portion of a 36.28± acre industrial site developed with several extant buildings. The site is the former location of the Flotill Products, Inc. food cannery. The controlling interest of Flothill Products was obtained by Tillie Lewis in 1937. The name of the firm was changed to Tillie Lewis Foods in 1961. The plant closed in 1987. The buildings were subsequently used by the Klein Brothers packaging company, and then the Berberian Nut Company in the 1990s. The buildings are currently used by logistics companies.

The project is consistent with the applicable development standards in Title 16 (Development Code) of the SMC. Per Table 2-3.A in SMC § 16.24.200, development in the IG Zoning District.

The subject property was a Designated Remainder of Parcel Map 24-179. A Certificate of Compliance (CC-22-01) was recorded on May 18, 2022.

A Lot Line Adjustment (LLA22-4289) is in process to reconfigure the property lines of the project site and two neighboring parcels (APNs: 163-370-32 and -33).

Site Plan Review

On January 19, 2022, and in conformance with SMC §16.152.010, the Site Plan Review Committee (SPRC) reviewed the application and plans and determined that minor corrections were necessary. The plans were subsequently resubmitted on April 26, 2022, and again in

September, after the Certificate of Compliance had been recorded and discussions with Caltrans regarding improvements associated with California State Highway 4 (Charter Way) were initiated. The final plans were reviewed by Engineering and Traffic Engineering. The comments from all City's divisions associated with development are included are listed in the conditions of approval below. Based upon compliance with the minor corrections requested and SMC §16.152.010, the Site Plan Review Committee recommends approval of the project to the Director The Director concurs with the SPRC recommendation and hereby issues approval, subject to the project specific conditions of approval below.

Design Review

On July 6, 2022, and in conformance with SMC §16.120.050, the Architectural Review Committee (ARC) reviewed the proposed project and made recommendations regarding mass and scale, the building facades, and the appropriate use of materials and colors. Revised plans were submitted on September 6, 2022 addressing these recommendations and staff recommended approval of the project. The Director confirms the Design Review recommendation based on the findings and project specific conditions of approval and hereby issues approval. To ensure conformance with the Citywide Design Guidelines, the Project must conform to the findings listed below. The Director affirmed that the Project does support all items listed.

Citywide Design Guidelines Consistency

1. **Finding:** The proposed development is consistent with all applicable provisions of this Development Code and other applicable City ordinances. (SMC §16.120.060(A))
2. **Finding:** The general design considerations, including the character, quality, and scale of design are consistent with the purpose/intent of this chapter and the Guidelines and other design guidelines that may be adopted by the City. (SMC §16.120.060(B))
3. **Finding:** The architectural design of structures and their materials and colors are visually compatible with surrounding development. Design elements (e.g., replacement and new facade material and colors, replacement and new location of windows and doors.) have been incorporated into the project to further ensure its compatibility with the character and uses of adjacent development, and/or between the different types of uses in a mixed-use development. (SMC §16.120.060(C))
4. **Finding:** The location and configuration of structures are compatible with their sites and with surrounding sites and structures and do not unnecessarily block views from other structures or dominate their surroundings. (SMC §16.120.060(D))
5. **Finding:** The general landscape design, including the color, coverage, location, size, texture, and type of plant materials, provisions for irrigation, planned maintenance, and protection of landscape elements have been considered to ensure visual relief, to complement structures, and to provide an attractive environment. (SMC §16.120.060(E))
6. **Finding:** The design and layout of the proposed project will not interfere with the use and enjoyment of neighboring existing or future development and will not result in vehicular or pedestrian hazard. (SMC §16.120.060(F))
7. **Finding:** The building design and related site plans, including on-site parking and loading, has been designed and integrated to ensure the intended use will best serve the potential users or patrons of the site. (SMC §16.120.060(G))

8. Finding: Special requirements or standards have been adequately incorporated, when applicable, into the building and/or site design (e.g., American Disabilities Act regulations, historic preservation, mitigation measures, open space, utilities, etc.). (SMC §16.120.060(H))

California Environmental Quality Act

The Project is Categorically Exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines §15268 (Ministerial Projects). Site plan review approval is a ministerial action that is not subject to SMC §16.88.040 (Environmental Determination). Design Review is a ministerial action as well given the proposed use is allowed, by-right (see SMC §16.120.040(A) and §16.120.050(D)(1)(a)).

Conditions of Approval

Project-Specific Conditions

1. The Project approved by this action shall conform to the plans included in Exhibit 1 and conditions of approval herein. Project approval encompasses Site Plan Review and Design Review aspects only and does not include evaluations of construction and engineering standards.
2. The proposed project located on Fresno Avenue shall require a right-of-way dedication. See Fresno Avenue Specific Road Plan for required dedication (Please contact the Engineering Division for a copy of the Specific Road Plan).
3. Off-site improvement plans shall be required for Fresno Avenue and Navy Drive frontages. Improvements will include, but not be limited to, pavement widening, curb, gutter, sidewalk, signage and striping, and streetlights (Please contact the Engineering Division for additional information). Driveway approaches shall be designed to accommodate STAA trucks per Condition 9.
4. The off-site improvement plans shall show existing City fiber-optic (FO) lines.
5. Submit a copy of the Caltrans letter referenced in Comment 6 of the Kier + Wright memorandum dated September 2, 2022 (Attachment A) with the Building Permit application.
6. Prior to building permit submittal, the applicant shall revise the Fresno Avenue – Left Turn Exit and Right Turn Entrance Truck Turn diagram (Page 31 of Exhibit 1, Sheet 2.0) to indicate a 3-foot minimum distance between southbound incoming trucks and northbound outgoing trucks.
7. Prior to building permit submittal, the applicant shall revise the CA-4 Fresno Avenue Intersection NE Corner Truck Turn diagram (Page 32 of Exhibit 1, Sheet 3.0) to indicate a 3-foot minimum distance between southbound incoming trucks and northbound outgoing trucks. Note: The trucks need to turn within their designated lanes.
8. The driveway approach along Navy Drive leading into the site shall be removed and replaced with curb, gutter, and sidewalk. If this access is to be retained, then an additional Planning Entitlement will be required to evaluate the proposed land use, circulation, and on- and off-site improvements. Retention of the driveway will require improvements per Condition 9.

9. Driveways shall conform to City Standard commercial ramp R-59 and should be designed to accommodate STAA trucks. The City Standards can be found on the City of Stockton Engineering webpage at:
<http://www.stocktonca.gov/government/departments/publicWorks/enginStand.html>
10. By separate instrument, the applicant shall establish a shared access agreement for use of the Fresno Avenue driveway.
11. The 60-foot wide "No-Build Easement" shown between buildings must be recorded prior to permit issuance.
12. If the site is fenced, then pedestrian gates shall be required along all accessible/egress routes. The pedestrian gates shall have the appropriate accessible and fire exit hardware and have the appropriate maneuvering clearance per CBC §11B-404.

Note: Review new CA Building Code Section 11B-250 related to all accessible routes throughout the site. Accessible routes shall be raised sidewalks unless one of the exceptions applies.
13. Provide a Stormwater Quality Control Plan (SWQCP); provide a WDID number for the State approved Stormwater Pollution Prevention Plan (SWPPP). (Municipal Utilities)
14. Fencing and landscaping along the front and street side property lines shall be constructed addressing traffic sight areas (SMC § 16.48.040(B)).
15. No barbed or concertina wire shall be visible from any adjacent public street, in compliance with Chapter 16.48 (SMC § 16.24.140(A))
16. Structures, fences/walls, and parking areas abutting a public street shall be set back at least 20 feet from any street side property line (SMC § 16.80.170(C)(1)(a)).
17. The required 20-foot setback area abutting a public street shall be maintained with landscaping as follows:
 - i. Landscaping and the associate automatic irrigation system shall be provided and maintained in compliance with Chapter 16.56 (Landscape Standards).
 - ii. The landscaping shall primarily consist of evergreen shrubs and trees which may be located on berms.
 - iii. Trees shall be provided at a rate of one (1) for every 20 linear feet of landscaped area. (SMC § 16.80.170(C)(1)(c))
18. Landscaping within the automobile parking area shall be consistent with Section 16.64.080 of the Stockton Municipal Code.
19. Roof- or ground-mounted mechanical equipment; loading docks, company-owned vehicles; refuse storage areas; and utility services shall be screened from public view from abutting public streets and rights-of-way. The method of screening shall be architecturally compatible with other site development in terms of colors, materials, and architectural style. A Design Review may be required prior to the installation of screening devices. (SMC § 16.35.100(A)(2))

20. Trash enclosures shall be constructed to accommodate the minimum storage area requirements of Table 3-2. The trash enclosures shall meet the location requirements specified in Section 16.36.130(C) of the SMC. The trash enclosure shall consist of 6-foot tall solid masonry walls, metal gates, and landscaping. The design shall be architecturally compatible with the surrounding structures and subject to the approval of the Director. (SMC § 16.36.100(A)(3) and 16.36.130(D)).
21. Exterior lighting shall be shielded or modified to prevent emission of light or glare beyond the property line, or upward into the sky. Bare bulbs shall not be allowed. (SMC § 16.32.070(B)).
22. The project has not been approved to support STAA trucks at this time. STAA truck route designation is a separate process of approval. The applicants will need to apply and make necessary offsite improvements as deemed necessary for their trucks to get to and from the project site. The following comments also apply:
 - a. It is suggested that the Fresno Avenue driveway is designed to STAA trucks, so reconstruction is not necessary in the future.
 - b. In the near future, the City will remove the truck route north of Navy Drive. If trucks will approach the project site from the direction of Navy Dr, then the intersection of Navy Drive and Fresno Avenue must be designed to accommodate STAA trucks (67' radius, HDM Figure 404.5B). By improving the intersection the trucks can turn left onto westbound Navy Dr and ultimately approach State Route 4 (SR4) from Navy Drive.
 - c. Must include both the truck design and truck turning path template on the plans. Use Highway Design Manual (HDM) Figure 404.5B.
 - d. The southwest corner of the intersection of Navy Drive and Fresno Avenue will require improvements to accommodate STAA trucks.

Standard Conditions of Approval

23. New buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. (SMC § 15.12.030(A))
24. Show all existing property pins/survey monuments on the site plan and add a note on the Building Plans stating "Property pins/survey monuments shall be protected in place."
25. All tripping hazards, including cracked, broken, and displaced concrete along the property frontage, shall be removed and replaced to City standards.
26. All work performed in the City public right-of-way or within utility easements shall require a separate City encroachment permit.
27. Plans submitted for purposes of building permit(s) shall reflect compliance with the American Disabilities Act and standards at Development Code Table 2-3, including all other aspects of Municipal Code Title 16 (Development Code), as applicable.
28. The use shall be carried out in compliance with all applicable Federal, State, County and City codes, regulations and adopted standards and pay all applicable fees.
29. Compliance with these conditions is mandatory. Failure to comply with these conditions is

unlawful, constitutes a public nuisance, and is subject to the remedies and penalties identified in the Stockton Municipal Code, including but not limited to, monetary fines and revocation or modification of said Design Review Approval.

30. Changes to this approval shall be reviewed under SMC Chapter 16.104 (Changes to an Approved Project).
31. This approval shall become void unless the required building permit is submitted within 12 months of the effective date of approval. An extension may be requested in accordance with SMC §16.120.080(D).
32. All work performed under a building permit for which drawings and plans have been approved under the procedures and requirements of SMC §16.120.010 shall conform to the approved drawings and plans.

Conclusion

The Site Plan Review aspect of this decision is effective immediately. The Design Review aspect of this decision is appealable to the Planning Commission in accordance with SMC §16.120.080(A) and Chapter §16.100 (Appeals). An appeal must be made to the Community Development Department in writing within 10 days and accompanied by the requisite fee. The Site Plan Review aspect of this decision is effective immediately.

If you have any questions, please do not hesitate to contact me at my e-mail address, alex.guilbert@stocktonca.gov.



Alex Guilbert, Senior Planner
City of Stockton | Community Development Department

Attachments:

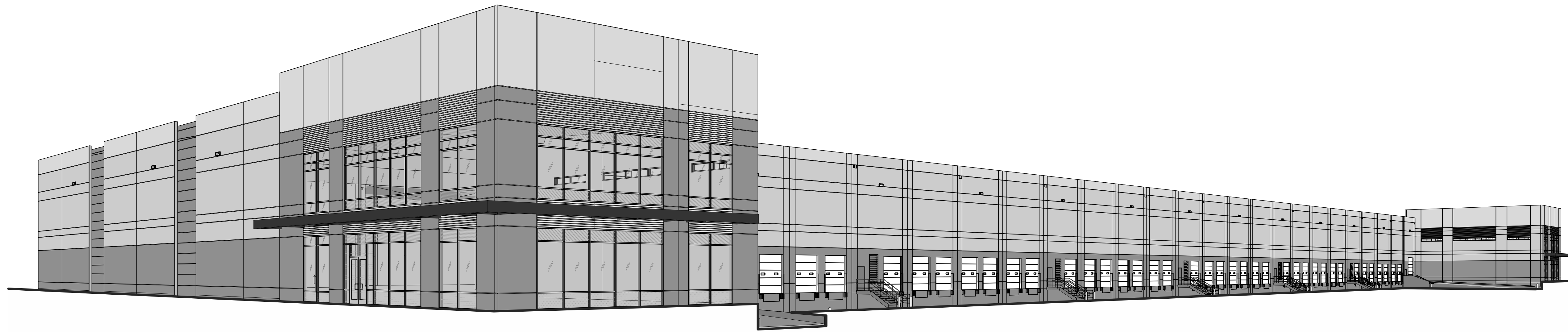
Exhibit A – Plans

Attachment A – Kier + Wright memorandum dated September 2, 2022

cc: Matt Frey, Westcore, 4350 La Jolla Village Drive, Suite 900, San Diego, CA 92122,
mfrey@westcore.net

WESTCORE INDUSTRIAL BUILDING

1515 S. FRESNO AVE. STOCKTON,
CALIFORNIA 95206



SHEET INDEX

TOTAL SHEETS
28

ARCHITECTURAL

- A0.1 TITLE SHEET
- A0.1a PROJECT DATA
- A0.2 GENERAL NOTES
- A0.3 ACCESSIBILITY DETAILS
- A0.3a ACCESSIBILITY DETAILS
- A0.4 CAL GREEN NOTES
- A0.4a CAL GREEN NOTES
- A0.5 OCCUPANCY AND EGRESS PLAN
- A0.6 FIRE EXTINGUISHER PLAN
- A1.0 OVERALL SITE PLAN
- A1.1 ENLARGED SITE PLAN
- A2.0 OVERALL FLOOR PLAN
- A2.1 PARTIAL FLOOR PLAN
- A2.2 PARTIAL FLOOR PLAN
- A3.0 ROOF PLAN
- A4.1 EXTERIOR ELEVATIONS
- A4.2 EXTERIOR ELEVATIONS
- A5.0 BUILDING SECTIONS
- A5.0a BUILDING SECTION
- A5.1 ENLARGED ELEVATION, PLAN AND WALL SECTIONS
- A5.2 ENLARGED ELEVATION, PLAN AND WALL SECTIONS
- A5.3 ENLARGED ELEVATION, PLAN AND WALL SECTIONS
- A6.1 DETAILS
- A6.1a DETAILS
- A6.1b WINDOW SCHEDULE
- A6.2 DETAILS
- A6.3 DETAILS
- A6.4 DETAILS

CIVIL (CALTRANS SUBMITTAL - REFERENCE SET)

- C1.0 ARCHITECTURAL REFERENCE SITE PLAN
- C2.0 NAVY DRIVE - TRUCK TURN EXHIBIT
- C3.0 FRESNO AVENUE CALTRANS TRUCK TURN EXHIBIT
- CA HWY 4 & FRESNO AVENUE CALTRANS TRUCK TURN EXHIBIT

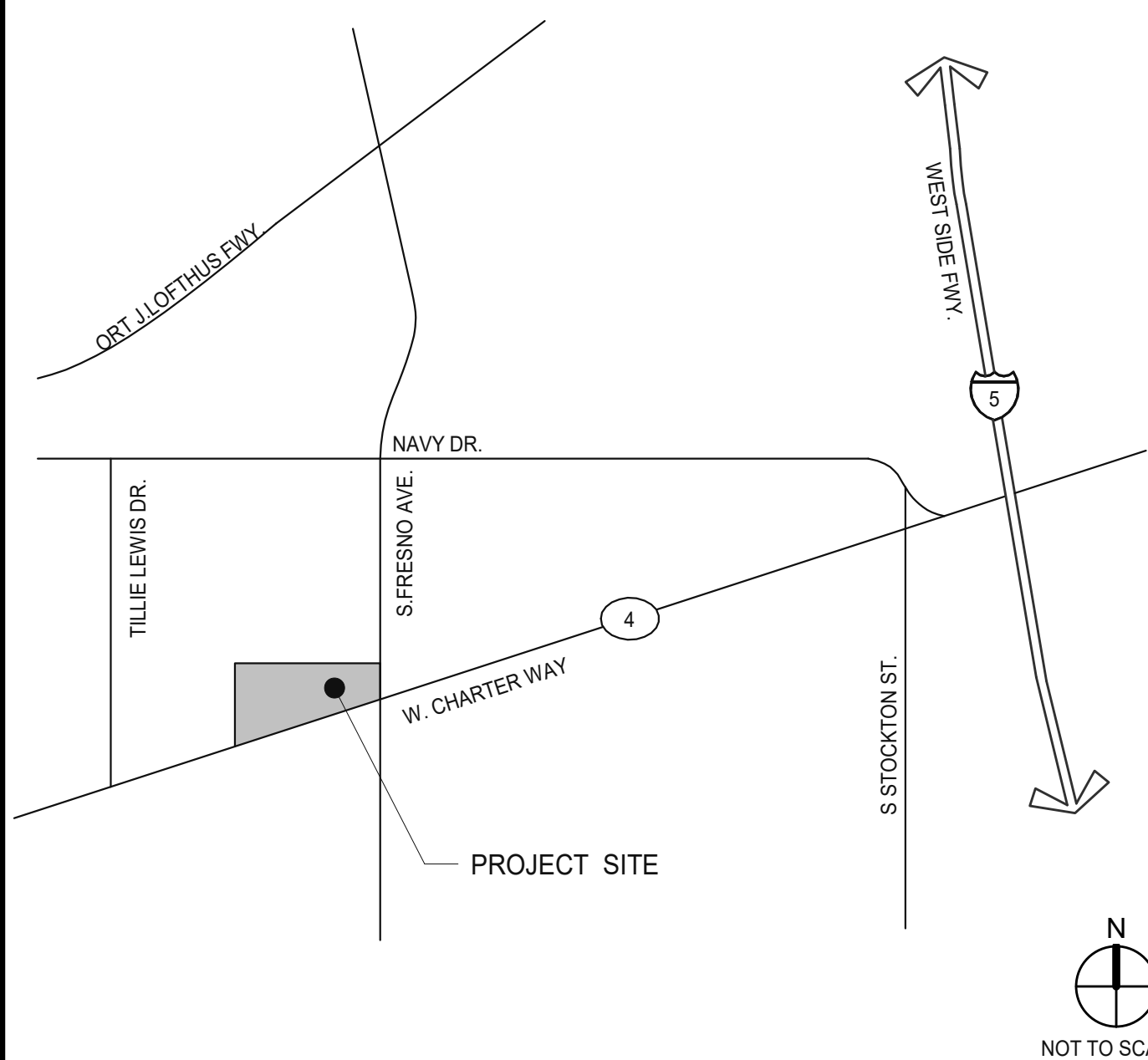
ELECTRICAL

- EP1.0 ELECTRICAL SITE PHOTOMETRICS PLAN
 - EP0.1 ELECTRICAL LIGHTING CUTSHEET
- ELECTRICAL SHEET COUNT: 2

LANDSCAPE

- L0 PLANT LIST, NOTES AND DETAILS
 - L1 PRELIMINARY LANDSCAPE PLAN
 - L2 PRELIMINARY LANDSCAPE PLAN
 - L3 PRELIMINARY LANDSCAPE PLAN
- LANDSCAPE SHEET COUNT: 4

VICINITY MAP



OWNER

COMPANY NAME
WESTCORE
4350 LA JOLLA VILLAGE DR., SUITE 900
SAN DIEGO, CA 92122
PH: (858) 367-7164

PRIMARY CONTACT: MATT FREY
PH: (858) 367-7164
EMAIL: mfrey@westcore.net

OWNER'S CONSULTANTS

CIVIL ENGINEER
KIER WRIGHT
250 CHERRY LANE, SUITE 208
MANTECA, CA 95337
PH: (209) 328-1123

PRIMARY CONTACT: MICHAEL EBENAL
PH: (209) 328-1123 x 3115
EMAIL: mebenal@kierwright.com

GEOTECHNICAL ENGINEER

TERRACON
902 INDUSTRIAL WAY
LODI, CA 95240
PH: (970) 658-4410

PRIMARY CONTACT: RICK GREELEY
PH: (803) 502-7199
EMAIL: Rick.Greeley@terracon.com

ARCHITECT

WARE MALCOMB
4683 CHABOT DR #300
PLEASANTON, CALIFORNIA 94588
P 925.244.9620
F 925.244.9621

PRIMARY CONTACT: PAJPM NAME
PH: (935) 368-1324
EMAIL: pm@waremalcomb.com

ARCHITECT'S CONSULTANTS

LANDSCAPE
RW STOVER & ASSOCIATES, INC.
1620 NORTH MAIN STREET, SUITE 4
WALNUT CREEK, CALIFORNIA 94596

PRIMARY CONTACT: RICK STOVER
PH: (925) 933-2583 x 105
EMAIL: rstover@rwsla.com

ELECTRICAL

ACIES ENGINEERING
3371 OLCOTT STREET
SANTA CLARA, CALIFORNIA 95054

PRIMARY CONTACT: CARMEN LEE, PE, LEED AP
PH: (408) 522-5260
F: (408) 522-5255 x 400
EMAIL: carmen@acies.net

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEERS OF RECORD WHO SHALL REVIEW AND PROVIDE NOTATION INDICATING DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE BUILDING DESIGN. SUBMITTAL MATERIALS SHALL INCLUDE PLANS, DETAILS AND CALCULATIONS PREPARED AND SIGNED BY A STATE REGISTERED ENGINEER. CONTRACTOR SHALL SUBMIT ARCHITECT AND ENGINEER REVIEWED SUBMITTAL MATERIALS TO THE BUILDING OFFICIAL FOR REVIEW AND PERMIT APPROVAL. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED PRIOR TO OBTAINING THE BUILDING OFFICIAL'S APPROVAL OF THE SUBMITTAL.

1. AUTOMATIC FIRE SPRINKLER SYSTEM.
2. FIRE ALARM SYSTEM.
3. STEEL JOISTS, TRUSSES AND GIRDERS CONFORMING TO SJI STANDARDS SPECIFICATIONS.
4. STEEL STAIRS, HANDRAILS AND GUARDS.
5. HIGH PILED STORAGE RACKING.
6. EXTERIOR BUILDING SIGNAGE.
7. ANCHORAGE DESIGN FOR ALL ELECTRICAL EQUIPMENT REQUIRED.
8. STOREFRONT AND CURTAIN WALL GLAZING SYSTEMS.
9. ROOF HATCH, RAILING AND GATE.
10. ROOF ACCESS LADDER/PLATFORM DESIGN AND SUPPORT.
11. LADDER SAFETY SYSTEM DESIGN AND SUPPORT.

WESTCORE INDUSTRIAL BUILDING
 1515 S. FRESNO AVE. STOCKTON,
 CALIFORNIA 95206

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 4683 Chabot Dr., Suite #300
 Pleasanton, CA 94588
 P 925.244.9620
 F 925.244.9620

TITLE SHEET	
DATE	REMARKS
5/29/2021	SITE AND DESIGN REVIEW SUBMITTAL
7/26/2022	ADDENDUM #1 - ENGINEERING COMMENT RESPONSE
B	

PAJPM: P. KING
DRAWN BY: M.I.E.S.
JOB NO.: SNR21-0017-00

SHEET
A0.1

ABBREVIATIONS

Table of abbreviations including symbols for centerline, angle, general contractor, ground fault interrupt, etc.

PROJECT DATA

Table with columns for applicable codes, city of stockton, building structure, etc.

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION

Table showing occupancy types (S-1, B), sections (311, 304), and uses (WAREHOUSE, OFFICE).

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

Table for allowable building height and area, including main occupancy, proposed building height, and area.

UNLIMITED AREA ALLOWED PER 507.4. W/ AUTOMATIC SPRINKLER AND OPEN YARDS GREATER THAN 60 FEET ON ALL SIDES.

PROPOSED TOTAL BUILDING AREA: 190,890 S.F.

CHAPTER 6 - TYPES OF CONSTRUCTION

Table detailing types of construction (III-B), building elements, structural frame, exterior bearing walls, etc.

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

Table for allowable area of openings, exterior walls, and fire separation features.

CHAPTER 9 - FIRE PROTECTION SYSTEMS

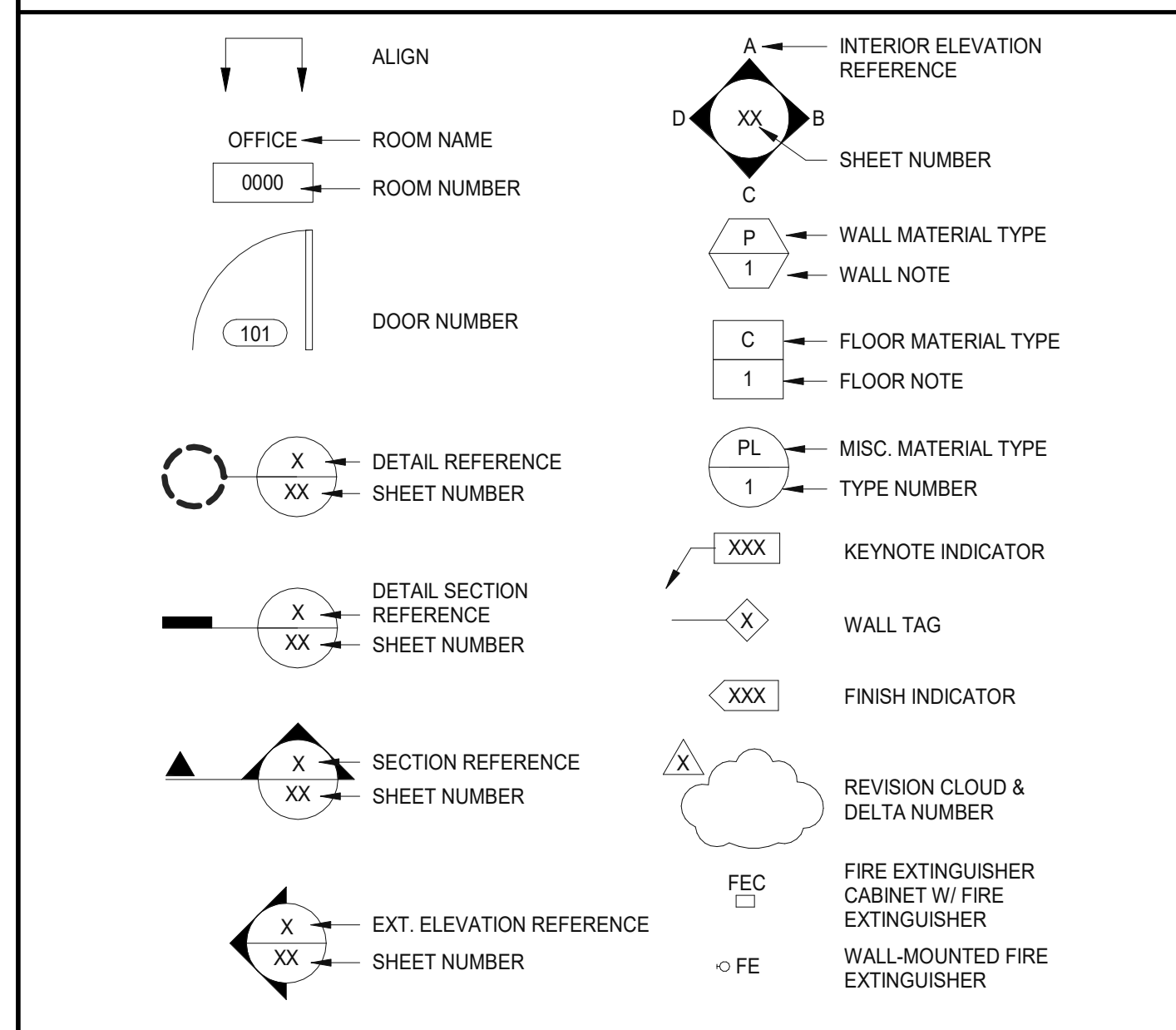
(903.3.1.1) AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED WITH ACCORDANCE WITH NFPA 13.

CHAPTER 10 - MEANS OF EGRESS (SEE OCCUPANCY AND EGRESS PLANS)

Table for site data including lot area (190,890 S.F.), building area (184,410 S.F.), and parking data.

Table for parking data showing stalls for standard, compact, and designated future electric vehicle charging.

SYMBOLS



WARE MALCOMB CIVIL ENGINEERING ARCHITECTURE PLANNING INTERIORS BUILDING MEASUREMENT

WESTCORE INDUSTRIAL BUILDING 1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

Table for project data including date (4/26/2022), site and design review, and comments response.

Table for P.A.P.M. (P. KING) and DRAWN BY (M.I.E.S.)

SHEET A0.1a

DOOR NOTES

- 1. VERIFY THAT ALL DOORS AND DOOR HARDWARE MEET THE REQUIREMENTS OF ALL GOVERNING CODES & STANDARDS. NOTIFY THE ARCHITECT IMMEDIATELY IN CASE OF DISCREPANCY.
2. FIELD MEASURE AS REQUIRED ALL DOORS AND/OR DOOR OPENINGS PRIOR TO FABRICATION.
3. PROVIDE SIGN IN CONTRASTING LETTERS OF 1 INCH OR MORE AT MAIN ENTRY STATING THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED UNLESS LOCK UNLATCHES WITHOUT A KEY OR NEED OF SPECIAL KNOWLEDGE.
4. VERIFY THAT EXISTING DOORS COMPLY WITH ACCESSIBILITY REQUIREMENTS.
5. FIRE RATED AND SMOKE AND DRAFT CONTROL DOORS SHALL COMPLY WITH REQUIREMENTS OF ALL GOVERNING CODES & STANDARDS AND SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING THE SPECIFIC RATINGS.
6. ALL SWINGING DOOR HANDLES TO BE LEVER-TYPE TO COMPLY WITH GOVERNING CODES & ACCESSIBILITY STANDARDS.
7. DOOR HANDLES OR PULLS AND ALL OTHER OPERABLE PARTS OF DOOR HARDWARE (SUCH AS DEADBOLTS, KEYHOLES, ETC.) ARE TO BE CENTERED BETWEEN 34" AND 44" ABOVE FINISH FLOOR. IF EXISTING BUILDING STANDARD EXISTS, MATCH BUILDING STANDARD AND CONFIRM COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS.
8. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE BY AUTHORITY HAVING JURISDICTION.
9. PROVIDE WEATHER SEALS ON ALL EXTERIOR DOORS PER ANSI STANDARDS.
10. CONTRACTOR IS RESPONSIBLE TO COORDINATE & VERIFY ALL DOOR FRAME THROAT THICKNESSES FOR EACH LOCATION.
11. ALL DOOR FRAMES TO BE FACTORY FINISHED, U.O.N.
12. PROVIDE 6"x16 GA MIN FLAT METAL OR 2x6 BACKING (FRT AS REQUIRED) BEHIND ALL WALL MOUNTED DOOR STOPS.
13. MAXIMUM UNDERCUT OF ALL NON-FIRE RATED DOORS SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR SURFACE.
14. CONTRACTOR SHALL REFINISH ANY BLEMISHED DOOR OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH TO "AS NEW" CONDITION.
15. ALL DOORS TO BE OPERABLE FROM THE INSIDE WITHOUT A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
16. ALL DOORS WITH ELECTRONIC SECURITY DOOR LOCKS MUST BE OPERABLE FOR EXITING PURPOSES UNDER ALL CONDITIONS, INCLUDING A POWER OUTAGE.
17. IF BUILDING STANDARDS ARE INCONSISTENT FOR DOORS, SIDELITES, HARDWARE, DOOR AND SIDELITE FRAMES OR OTHER STANDARD DETAILS, THEN CONTRACTOR MUST VERIFY WITH ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.

ROOF NOTES

- 1. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR SCHEMATIC LAYOUT OF ROOF LEVEL, HVAC, PLUMBING AND ELECTRICAL EQUIPMENT, PIPE, CONDUIT, PLATFORMS, HOUSEKEEPING PADS, BASES, SHAFT OPENINGS, DECK PENETRATIONS, ETC.
2. CONTRACTOR SHALL VERIFY SIZE, LOCATIONS, AND INSTALLATIONS REQUIREMENTS OF ALL HVAC, PLUMBING AND ELECTRICAL EQUIPMENT WITH EQUIPMENT MANUFACTURERS AND SUBMIT A FINAL LAYOUT OF ALL EQUIPMENT FOR ARCHITECT APPROVAL.
3. THE TOP OF MECHANICAL AND PLUMBING EQUIPMENT PLATFORMS AND CURBS SHALL MEASURE A MINIMUM OF 8" ABOVE THE HIGHEST ADJACENT TOP OF ROOFING ELEVATION.
4. VENT OPENINGS THROUGH THE ROOF SHALL BE INSTALLED 10'-0" MINIMUM AWAY FROM AND TERMINATED 3'-0" MINIMUM ABOVE ANY FRESH AIR INTAKE.
5. SEE PLUMBING DRAWINGS FOR ROOF DRAIN AND SECONDARY DRAIN SIZES.
6. CRICKETS SHALL BE INSTALLED ON THE HIGH SIDE OF ANY OBSTRUCTION MORE THAN 47" WIDE AND ORIENTED PERPENDICULAR TO THE FLOW OF WATER TO THE DRAIN. SUCH OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO EQUIPMENT PADS, CURBS AND WALLS.
7. ROOFING ASSEMBLIES SHALL BE SELECTED AND INSTALLED AS REQUIRED TO RESIST MAXIMUM WIND SPEEDS AND UPLIFT FORCES DEFINED BY CODE AND LOCAL OR STATE LAW AS APPLIED TO THE ROOF'S GEOGRAPHIC LOCATION, HEIGHT AND EXPOSURE CLASS.
8. OVERFLOW SCUPPERS AND SECONDARY ROOF DRAINS SHALL BE DESIGNED PER APPLICABLE CODES WITH INLETS LOCATED 2 INCHES ABOVE THE LOW POINT OF THE SURROUNDING FINISHED ROOF SURFACE.
9. ORIENT SKYLIGHT/SMOKE HATCH HINGE SIDE TOWARD THE PREVAILING WIND.
10. ROOFING TO BE UL CLASS 'A' FIRE-RETARDANT.
11. ALL ROOF SURFACES SHALL SLOPE A MINIMUM OF 1/4 INCH PER FOOT IN ALL DIRECTIONS.

FIRE AUTHORITY NOTES

- 1. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED - SCHEDULE 2 DAYS IN ADVANCE.
2. THE PROJECT ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER LOCAL FIRE DEPARTMENT STANDARDS.
3. AN UNOBSTRUCTED ALL-WEATHER FIRE APPARATUS ACCESS ROAD SHALL BE IN PLACE PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.
4. FIRE PREVENTION WATER SERVICE SHALL BE IN SERVICE PRIOR TO THE DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.
5. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH LOCAL FIRE AUTHORITY.
6. PRIVATE FIRE HYDRANTS, SPRINKLER CONTROL AND POST INDICATOR VALVES, AND RISERS TO FIRE DEPARTMENT CONNECTIONS SHALL BE PAINTED "SAFETY RED" PER LOCAL FIRE AUTHORITY.
7. ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING ITS LOCATION ON THE STREET OR DRIVE PER LOCAL FIRE AUTHORITY STANDARDS. ON PRIVATE PROPERTY THESE MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
8. PROVIDE OUTSIDE GAS SHUT-OFF VALVE. PROVIDE SIGN INDICATION MAIN GAS AND ELECTRICAL SHUT-OFF PER LOCAL FIRE DEPARTMENT.
9. FIRE SPRINKLER SYSTEM(S) SHALL MEET STATE & LOCAL FIRE CODES AND BE PROVIDED TO PROTECT ENTIRE BUILDING INCLUDING PROJECTIONS OVER 4'-0".
10. FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, INCLUDING EXTERIOR SHALL BE SUPERVISED BY A U.L.L LISTED CENTRAL ALARM STATION OR PER STATE & LOCAL FIRE CODES.
11. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE
12. ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS 100 OR MORE. ELECTRICAL SUBCONTRACTORS TO INSTALL WIRING FOR FIRE SPRINKLER, ALARM BELL AND TELEPHONE WARNINGS AS REQUIRED BY FIRE DEPARTMENT.
13. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH STATE & LOCAL FIRE CODES.
14. COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIXED FIRE PROTECTION EQUIPMENTS INCLUDING AUTOMATIC SPRINKLERS AND OTHER FIRE PROTECTION SYSTEMS, SHALL BE SUBMITTED BY INSTALLING CONTRACTOR. SUCH PLANS SHALL BE APPROVED BY LOCAL FIRE AUTHORITY PRIOR TO INSTALLATION.
15. ALL REQUIRED FIRE DOORS SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING THE SPECIFIC RATING.
16. EXIT SIGNS AND ILLUMINATION SHALL CONFORM TO ALL APPLICABLE BUILDING AND FIRE CODES.
17. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
18. PROVIDE OR MODIFY AS NEEDED SPRINKLER ALARM AND SMOKE DETECTION SYSTEM PER APPLICABLE CODES INCLUDING IF NECESSARY FIRE HORNS, STROBE LIGHTS, CONTROL PANEL CONNECTIONS, SMOKE DETECTORS, AUDIO VISUAL ALARMS. SUBMIT SHOP DRAWINGS TO THE FIRE MARSHAL FOR APPROVAL.

SITE NOTES

- 1. REFER TO LANDSCAPE DRAWINGS FOR CONCRETE WALKS, PAVING, BERMS, LANDSCAPING AND IRRIGATION.
2. REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURB AND GUTTER SWALES, FIRE HYDRANT LOCATIONS AND HORIZONTAL CONTROL DIMENSIONS.
3. REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
4. ALL DIMENSION ON SITE PLAN ARE TO BE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE OR CENTERLINE OF PARKING STALL, UNLESS OTHERWISE NOTED.
5. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.
6. ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION STANDARDS.
7. CONCRETE WALK SHALL RECEIVE EXPANSION JOINTS AT 50'-0" O.C. MAX. AND CONTROL JOINTS AT 5'-0" O.C. MAX. BETWEEN EXPANSION JOINTS, UNLESS NOTED OTHERWISE.

FLOOR PLAN NOTES

- 1. ALL EXITS SHALL HAVE EXIT SIGNS.
2. ALL CONDUIT PIPING, IN ELECTRICAL ROOM TO BE CONCEALED WITHIN THE WALL CONSTRUCTION.
3. REFER TO PLUMBING, CIVIL AND SITE PLANS, FOR SIZE AND ROUTING OF ROOF DRAINAGE CONNECTION TO UNDERGROUND STORM DRAIN OR RUN TO DAYLIGHT AS SHOWN.
4. FLOORS SHALL BE SLOPED TO FLOOR DRAINS. COORDINATE WITH PLUMBING AND STRUCTURAL DRAWINGS. IN RATED FLOOR CONDITIONS, CONFIRM REMAINING FLOOR THICKNESS STILL CONFORMS TO MINIMUM RATING REQUIREMENT.

GLAZING NOTES

- 1. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF THE GLASS.
2. GLASS SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES, U.O.N.
3. FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION.
4. FIXED OR OPERABLE GLAZING IN HAZARDOUS LOCATIONS AS DEFINED IN THE BUILDING CODE SHALL BE TEMPERED GLASS (SAFETY GLASS).
5. GLAZING IN SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
6. ALL GLAZING WITHIN A 24" ARC OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED.
7. GLAZING IN WINDOWS: ALL GLAZING THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED:
A. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF.
B. THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
C. THE TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR.
D. WALKING SURFACE IS WITHIN 36".
8. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE AND LOCAL CODES AND THE U.S. PRODUCT SAFETY COMMISSIONS' SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS.
9. WHERE JOINTS ARE REQUIRED IN MULTIPLE LITES, CLEAR SILICONE IS TO BE PROVIDED, U.O.N.

GENERAL PROJECT NOTES

GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED SO AS TO COMPLY WITH ALL LEGAL, INDUSTRY AND PROJECT-SPECIFIC REQUIREMENTS AND STANDARDS INCLUDING WITHOUT LIMITATION OF THE FOLLOWING:
A. ALL APPLICABLE BUILDING CODES
B. ALL APPLICABLE SPECIALTY CODES INCLUDING THE MOST CURRENT ISSUES AND SUPPLEMENTS
C. THE PROJECT MANUAL AND ASSOCIATED SPECIFICATIONS WHEN PROVIDED
D. THE MANUFACTURER'S REQUIREMENTS OR RECOMMENDATIONS
E. ALL APPLICABLE LANDLORD BUILDING STANDARDS
2. IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK. EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES OR IN DOCUMENTS PROVIDED BY OTHER MEMBERS OF THE PROJECT DESIGN TEAM. UNLESS EXPRESSLY PROVIDED OTHERWISE, THE INTENT IS TO INCLUDE ALL LABOR, MATERIALS, PRODUCTS AND SERVICES NECESSARY OR APPROPRIATE FOR THE COMPLETED PROJECT AS CALLED FOR OR REASONABLY IMPLIED FROM THE PLANS AND SPECIFICATIONS PROVIDED BY THE PROJECT'S DESIGN TEAM. IN CASE OF CONFLICTS OR OMISSIONS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT OR COSTLY STANDARD.
3. IN INTERPRETING THESE PLANS, THE FOLLOWING GENERAL RULES APPLY:
A. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
B. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
C. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK IN THE SAME BUILDING.
D. WORK SHOWN AS "NIC" IS FOR REFERENCE ONLY AND THE RESPONSIBILITY OF THE CONTRACTOR ONLY TO THE EXTENT THAT THIS WORK MAY REQUIRE SOME REASONABLE PROTECTION OR COORDINATION EFFORTS.
4. THESE PLANS AND SPECIFICATIONS ARE INTENDED TO REPRESENT ONLY THE FINISHED CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES INCLUDING ANY AND ALL SAFETY PRECAUTIONS AND PROGRAMS, AND SHALL INDEMNIFY TO THE FULLEST EXTENT ALLOWED BY LAW THE OWNER AND THE PROJECT DESIGN TEAM FROM AND AGAINST ANY AND ALL RELATED CLAIMS AND LIABILITY.
5. THESE PLANS AND SPECIFICATIONS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THEY ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR INFORMATION (RFI). ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THESE ERRORS AND OMISSIONS TO THE ATTENTION OF AN APPROPRIATE OWNER REPRESENTATIVE IN A TIMELY MANNER, AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES.
6. DIMENSIONS SCALED FROM DRAWINGS SHALL BE CONSIDERED APPROXIMATE. CONTRACTORS THAT FAIL TO FIELD MEASURE AND VERIFY DISTANCES, CLEARANCE AND FIT ARE PROCEEDING AT THEIR OWN RISK.
7. EXCEPT WHERE DIMENSIONED, PLANS ARE TO BE CONSIDERED DIAGRAMMATIC IN NATURE AND INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS.
8. DESIGN/BUILD CONTRACTOR SUBMITTALS WILL BE REVIEWED BY THE PROJECT DESIGN TEAM, IF AT ALL, ONLY FOR CONFORMANCE WITH THE AESTHETIC ASPECTS AND MAJOR SPACE LIMITATIONS OF THE PROJECT; AND EACH DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:
A. PREPARING ALL THE ENGINEERING AND OTHER DRAWINGS AND SPECIFICATIONS FOR THE COMPONENTS OF ITS DESIGN/BUILD UNDERTAKING.
B. COMPLYING WITH THE PROJECT'S REQUIREMENTS AND SPACE LIMITATIONS.
C. COORDINATION AND INTERFACING WITH OTHER TRADES AND CONSULTANTS.
D. OBTAINING ANY REQUIRED OR APPROPRIATE APPROVALS FROM AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
E. HAVING THEIR DESIGN CONSULTANTS SERVE AS THE PROFESSIONAL OF RECORD FOR THE PORTIONS OF WORK WHICH THEY DESIGN.
9. AS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AT THE CONCLUSION OF CONSTRUCTION EACH PRIME CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION THAT THEIR PORTION OF THE WORK HAS BEEN PERFORMED IN COMPLIANCE WITH THE BUILDING PERMIT APPROVED PLANS AND SPECIFICATIONS.
10. VERSIONS OF THESE PLANS PROVIDED IN ANY ELECTRONIC FORM ARE SUBJECT TO THE SAME PROVISION AS THE OTHER INSTRUMENTS OF SERVICE PREPARED BY OR ON BEHALF OF THE PROJECT DESIGN TEAM, INCLUDING WITHOUT LIMITATION THEIR COMMON LAW, STATUTORY OR OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. A RECIPIENT IS GRANTED AT MOST A TRANSFERABLE NONEXCLUSIVE LICENSE TO REUSE THE PLANS SOLELY FOR PROJECT PURPOSES, AND NO RECIPIENT IS AUTHORIZED TO USE OR TO ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE, AND ANY OTHER USE FOR ANY OTHER PURPOSE COULD CONSTITUTE ACTIONABLE PLAGIARISM. ANY ELECTRONIC DOCUMENTS WILL BE PROVIDED IN THE RESPONSIBLE DESIGN PROFESSIONAL'S STANDARD FORMATS AND CONVENTIONS AND WITH NO GUARANTEE OF THE ABSENCE OF VIRUSES OR OTHER HARMFUL MATERIAL, OR OF COMPATIBILITY WITH ANY RECIPIENT'S SOFTWARE OR HARDWARE SO THAT ANY USE WITH OR CONVERSION TO THE OTHER FORMS OR CONVENTIONS, OR THE USE WITH ANY PARTICULAR SOFTWARE OR HARDWARE, IS AT THE RECIPIENT'S SOLE RISK.

JOB SITE NOTES

- 1. WHERE EXISTING TENANTS/BUSINESSES ARE ADJACENT TO THE JOB SITE/TENANT, THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION NOISE. EXTREMELY NOISY CONSTRUCTION SHALL OCCUR AT NON-TYPICAL BUSINESS HOURS. CONTRACTOR SHOULD NOTIFY BUILDING REPRESENTATIVE OF SPECIAL CIRCUMSTANCES IN ADVANCE PRIOR TO WORK.
2. THE CONTRACTOR AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST AND DEBRIS. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
3. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE BUILDING REPRESENTATIVE OF THE LOCATION OF DISPOSAL SITES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB AFTER ITS COMPLETION. WHERE APPLICABLE, CLEANING SHALL INCLUDE, BUT NOT BE LIMITED TO, THE EXTERIOR AND THE INTERIOR OF THE BUILDING, THE PATH OF TRAVEL TO THE JOB SITE, PARKING LOTS, ELEVATORS, LOBBIES, AND CORRIDOR CARPETS.
5. THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION, WHERE REQUIRED PER STATE AND LOCAL CODES.
6. IF TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH ARE REQUIRED, OBTAIN ISSUANCE OF A BUILDING OR GRADING PERMIT.
7. NO HAZARDOUS MATERIALS SHALL BE USED OR STORED WITHIN THE BUILDING WHICH DOES NOT COMPLY WITH THE LOCAL FIRE AUTHORITY AND STATE & COUNTY REQUIREMENTS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR BLOCKING OFF SUPPLY AND RETURN AIR GRILLES, DIFFUSERS & DUCTS TO KEEP DUST FROM ENTERING INTO BUILDING AIR DISTRIBUTION SYSTEMS.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.

DRAWING INTERPRETATION - GENERAL RULES

- 1. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF GRIDS.
2. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, U.O.N.
3. THE TERM "ALIGN" AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.
4. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, U.O.N.
5. DETAILS ARE USUALLY KEVED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT, U.O.N.
6. COLUMN CENTERLINES (GRID LINES) ARE SHOWN FOR DIMENSIONING PURPOSES.

INTERIOR/EXTERIOR NOTES

- 1. WHERE ELECTRICAL, MECHANICAL AND/OR PLUMBING ITEMS, SUCH AS LIGHTS, DUCTS, PIPING, DOWNSPOUTS, ETC. ARE TO PENETRATE ANY BUILDING FOOTINGS, SLABS, FLOORS, STRUCTURAL FRAMING, WALL PARTITIONS, CEILINGS, ETC., IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY CONFLICT OR DISCREPANCY WITHIN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
2. CONTRACTORS SHALL PROVIDE AND LOCATE ACCESS DOORS/PANELS IN WALL & CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING & ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL PENETRATIONS AT RATED CONSTRUCTION SHALL BE EXTENDED TO MAINTAIN RATING.
4. THE CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION DUE TO WORK PERFORMED. THE CONTRACTOR SHALL FURNISH AND INSTALL NEW MATERIALS AT NO ADDITIONAL COST TO THE OWNER TO REPAIR SUCH DAMAGE.
5. INTERIOR WALLS AND CEILINGS SHALL BE INSTALLED IN ACCORDANCE WITH STATE & LOCAL CODES, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS.
6. WHEN USED, ALL NOISE BARRIER BATTS (SOUND INSULATION) AND INSULATION BATTS SHALL BE NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE OZONE DEPLETING COMPOUNDS.

PRE-CONSTRUCTION NOTES

- 1. PRIOR TO START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS TO BE HELD INCLUDING A RESPONSIBLE REPRESENTATIVE OF THE ARCHITECT, THE OWNER AND THE GENERAL CONTRACTOR. THE DISCUSSION WILL BE IN REGARD TO THE ARCHITECT-OWNER-CONTRACTOR (AOC) CORRESPONDENCE PROCESSES AND PROCEDURES. AT A MINIMUM, THE FOLLOWING IS TO BE DISCUSSED:
2. AOC REGULARLY SCHEDULED MEETINGS
2.1 WHEN
2.2 WHERE
2.3 HOW OFTEN
2.4 IN PERSON VERSUS CONFERENCE CALLS
2.5 APPROXIMATE ALLOTTED TIME PER MEETING
3. CONSTRUCTION MEETING MINUTES
3.1 FORMAT FOR THE MINUTES
3.2 CONTRACTOR TO AUTHOR THE MINUTES
4. FORMAL CHANGES IN THE WORK
4.1 ADDENDA AND BULLETINS ISSUED BY THE ARCHITECT
4.2 CHANGE ORDER REQUESTS ISSUED BY THE CONTRACTOR
4.3 CHANGE ORDERS ISSUED BY THE CONTRACTOR
4.4 TRACKING MECHANISMS
5. REQUESTS FOR INFORMATION PROCESS
5.1 TRACKING MECHANISM
5.2 DEFINE C. RECIPIENT LIST
5.3 STANDARD RESPONSE TIMES (2-5 WORKING DAYS IS STANDARD)
6. SUBMITTAL PROCESS
6.1 TRACKING MECHANISM
6.2 ISSUANCE SCHEDULE BY THE CONTRACTOR
6.3 DEFINE C. RECIPIENT LIST
6.4 STAMPED REVIEWED AND APPROVED BY CONTRACTOR PRIOR TO SUBMISSION
6.5 NON-REQUESTED SUBMITTALS MAY NOT BE REVIEWED
6.6 STANDARD RESPONSE TIMES (7-10 WORKING DAYS IS STANDARD)
7. SUBSTITUTIONS
7.1 REQUEST FORMS WITH REASONS AND BENEFIT FOR SUBSTITUTION
8. PAYMENT APPLICATIONS
8.1 PROCESS
8.2 SUBMITTAL DATE
8.3 ANTICIPATED TURNAROUND
9. PUNCH LISTS
9.1 ONLY ONE PUNCH WALK TO BE PROVIDED BY DESIGN TEAM
9.2 CONTRACTOR TO PUNCH AND MAKE CORRECTIONS OR CREATE A MINIMAL LIST OF CORRECTIONS PRIOR TO DESIGN TEAM PUNCH.
9.3 A FINAL WALK WILL OCCUR ONLY IF THE ARCHITECT IS CONTRACTED TO DO SO.

G.C. INSTRUCTIONS

SUBMITTALS

- 1. AT THE START OF JOB PROVIDE A SCHEDULE OF ALL ANTICIPATED SUBMITTALS AND DATES. FLAG SUBMITTALS WHICH ARE OR COULD BE CRITICAL PATH. FLAG SUBMITTALS THAT WILL BE REQUESTED TO BE EXPEDITED FASTER THAN THE STANDARD 7-10 DAYS.
2. A SUBMITTAL LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND A CURRENT COPY IS TO BE INCLUDED WITH EACH SUBMISSION.
3. ALL SUBMITTALS MUST BE REVIEWED AND APPROVED WITH A STAMP AND SIGNATURE BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION. THE REVIEW WILL INCLUDE BUT NOT BE LIMITED TO:
3.1 CONFIRMING THAT THE SUBMITTAL MEETS THE REQUIREMENTS OF THE CONTRACT DOCUMENTS
3.2 COORDINATION HAS TAKEN PLACE WITH ALL INTERCONNECTING TRADES
3.3 THE SUBMITTAL IS COMPLETE AND COMPREHENSIVE
3.4 REQUESTS ON SUBMITTALS FOR DIMENSIONS WHICH CAN BE DISCERNABLE THROUGH MATHEMATICAL MEANS FROM INFORMATION ALREADY PROVIDED ON THE CONTRACT DOCUMENTS WILL NOT BE PROVIDED.
3.5 SUBMITTALS SHALL BE IN ELECTRONIC FORMAT UNLESS PHYSICAL SAMPLES ARE REQUESTED.
4. SUBMITTALS NOT REQUESTED BY THE CONTRACT DOCUMENTS MAY OR MAY NOT BE REVIEWED AT THE DESIGN TEAM'S DISCRETION.
5. SUBMITTALS ARE TO BE ROUTED THROUGH THE ARCHITECT AND ARE NOT TO BE SENT DIRECTLY TO ARCHITECT'S CONSULTANTS UNLESS SPECIFICALLY AUTHORIZED BY THE ARCHITECT.
6. MINOR CHANGES IN THE WORK MAY OCCUR AS A RESULT OF THE DESIGN TEAM'S REVIEW. IF A CHANGE RESULTS IN MODIFICATIONS TO THE CONTRACT PRICE OR SCHEDULE, THE CONTRACTOR WILL ISSUE A CHANGE ORDER REQUEST FOR REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO PROCEEDING.

REQUESTS FOR INFORMATION (RFI'S)

- 1. THE GENERAL CONTRACTOR IS TO REVIEW ALL PROSPECTIVE RFIs AND MAKE EVERY EFFORT TO ANSWER THEM BEFORE SUBMITTING TO THE DESIGN TEAM.
2. MINOR CHANGES IN THE WORK MAY OCCUR AS A RESULT OF THE DESIGN TEAM'S REVIEW. IF A CHANGE RESULTS IN MODIFICATIONS TO THE CONTRACT PRICE OR SCHEDULE, THE CONTRACTOR WILL ISSUE A CHANGE ORDER REQUEST FOR REVIEW AND APPROVAL BY THE OWNER AND ARCHITECT PRIOR TO PROCEEDING.
3. AN RFI LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND A CURRENT COPY IS TO BE INCLUDED WITH EACH RFI SUBMISSION ALONG WITH ANY CRITICAL RESPONSE DUE DATES.
4. RFIs REGARDING METHODS AND MEANS OF CONSTRUCTION WILL NOT BE REVIEWED AND WILL BE REMOVED FROM THE RFI LOG.

CHANGE ORDERS

- 1. A COMPLETE SCHEDULE OF VALUES OF THE BASE CONTRACT IS TO BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO THE START OF ANY WORK.
2. ALL CHANGE ORDER REQUESTS ARE TO BE REVIEWED AND APPROVED BY THE OWNER AND ARCHITECT PRIOR TO SUBMISSION OF A CHANGE ORDER.
3. CHANGE ORDER REQUESTS ARE TO INCLUDE A COMPLETE BREAKDOWN BY TRADE ALONG WITH TRADE BACK-UP AND UNIT PRICING WHERE APPLICABLE.
4. A CHANGE ORDER REQUEST AND CHANGE ORDER LOG IS TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND SUBMITTED ALONG WITH EACH CHANGE ORDER REQUEST.

PROJECT SCHEDULE

- 1. A COMPLETE CONSTRUCTION SCHEDULE OF ALL PORTIONS OF THE WORK TO BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO START OF ANY WORK.
2. THE SCHEDULE SHALL NOT EXCEED TIME LIMITS CURRENT UNDER THE CONTRACT DOCUMENTS.
3. THE SCHEDULE SHALL BE REVISED AT APPROPRIATE INTERVALS AS REQUIRED BY THE CONDITIONS OF THE WORK AND PROJECT AND THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IF FOR ANY REASON THE SCHEDULE IS EXTENDED.
4. A THREE WEEK LOOK-AHEAD SHALL BE REVIEWED REGULARLY AT EACH AOC MEETING WHICH WILL BE IN-LINE WITH THE OVERALL CONSTRUCTION SCHEDULE.

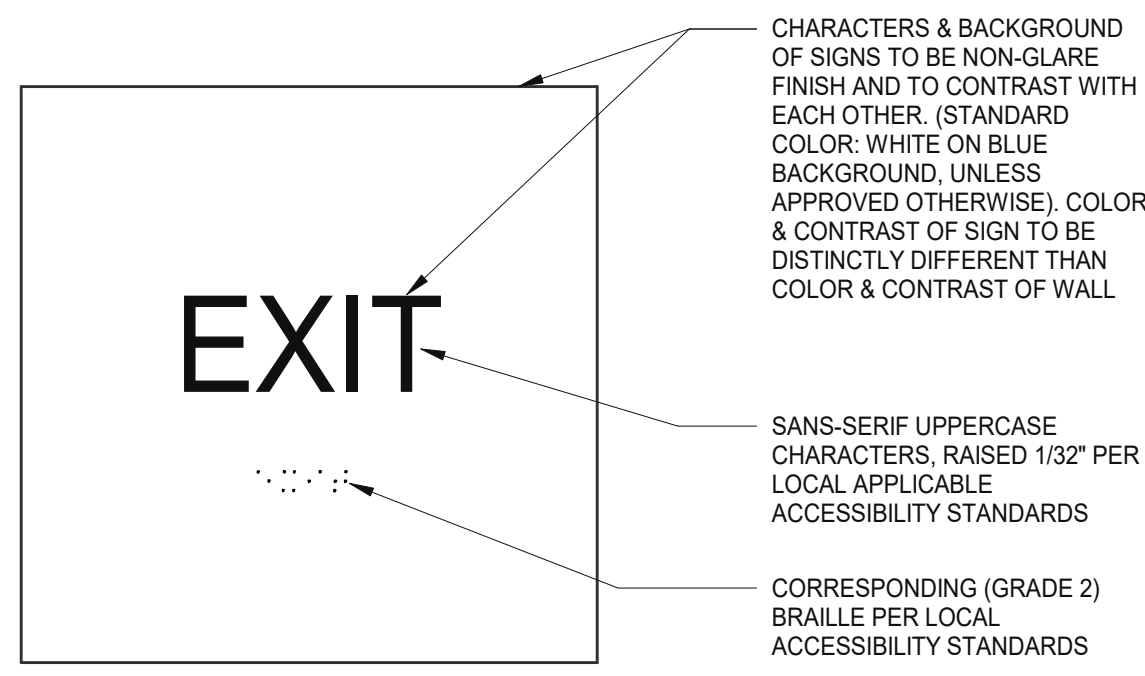
WARE MALCOMB
CIVIL ENGINEERING
PLANNING
BRANDES
BUILDING MEASUREMENT
4655 Chabot Dr., Suite #200
Piedmont, CA 94629
Phone: 925.244.9620

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE., STOCKTON, CALIFORNIA 95206

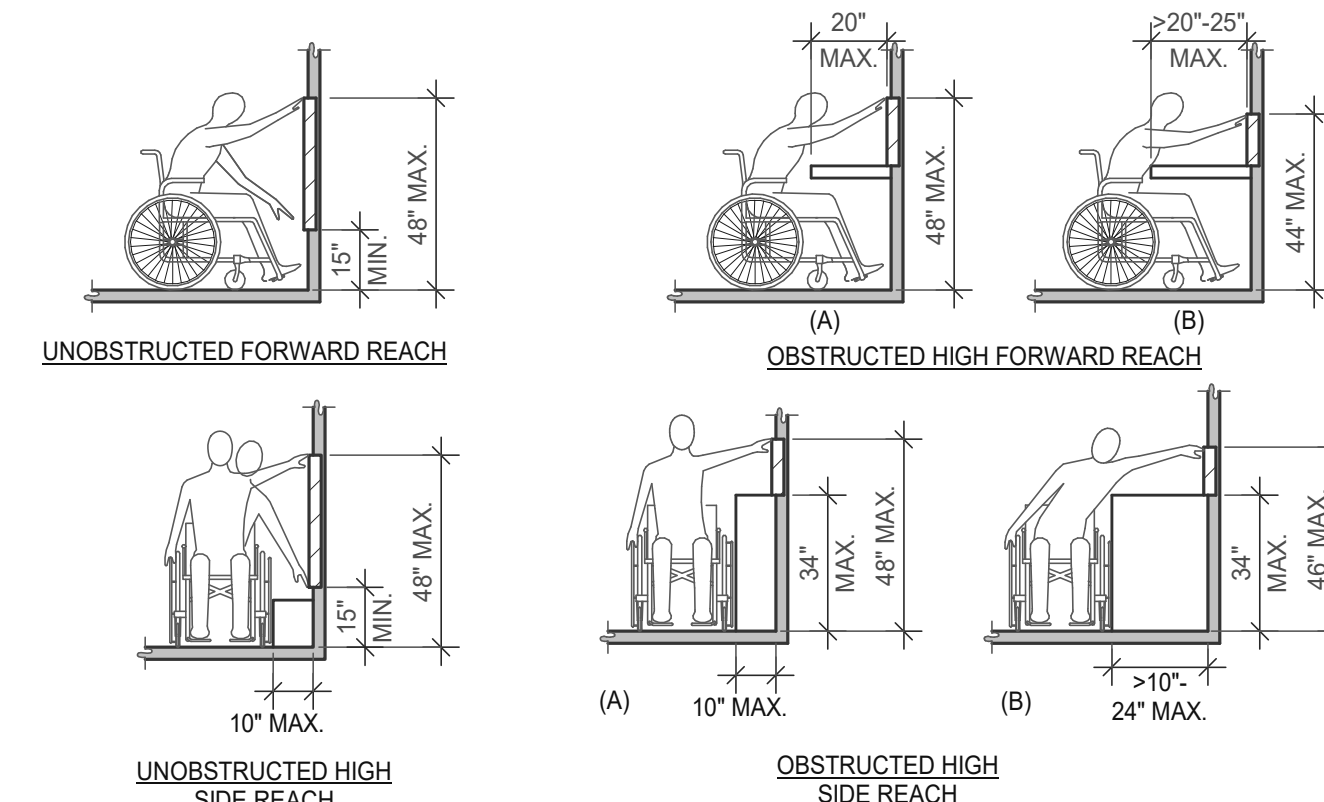
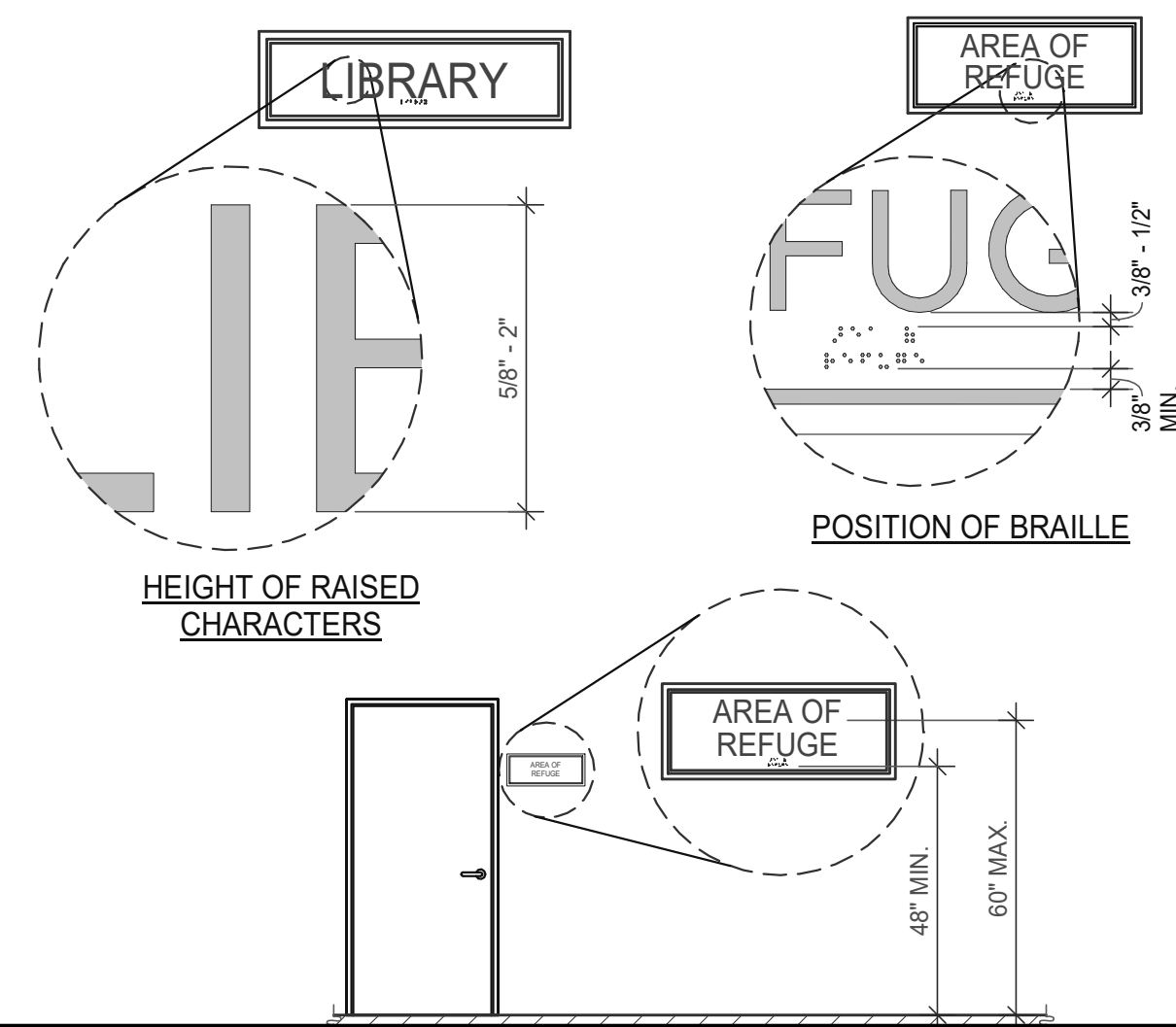
Table with 2 columns: DATE, REMARKS. Row 1: 12/29/2021, SITE AND DESIGN REVIEW SUBMITTAL

Table with 2 columns: P.A.P.M., DRAWN BY:, JOB NO.:. Row 1: P. KING, M.I.E.S., SNR21-0017-00

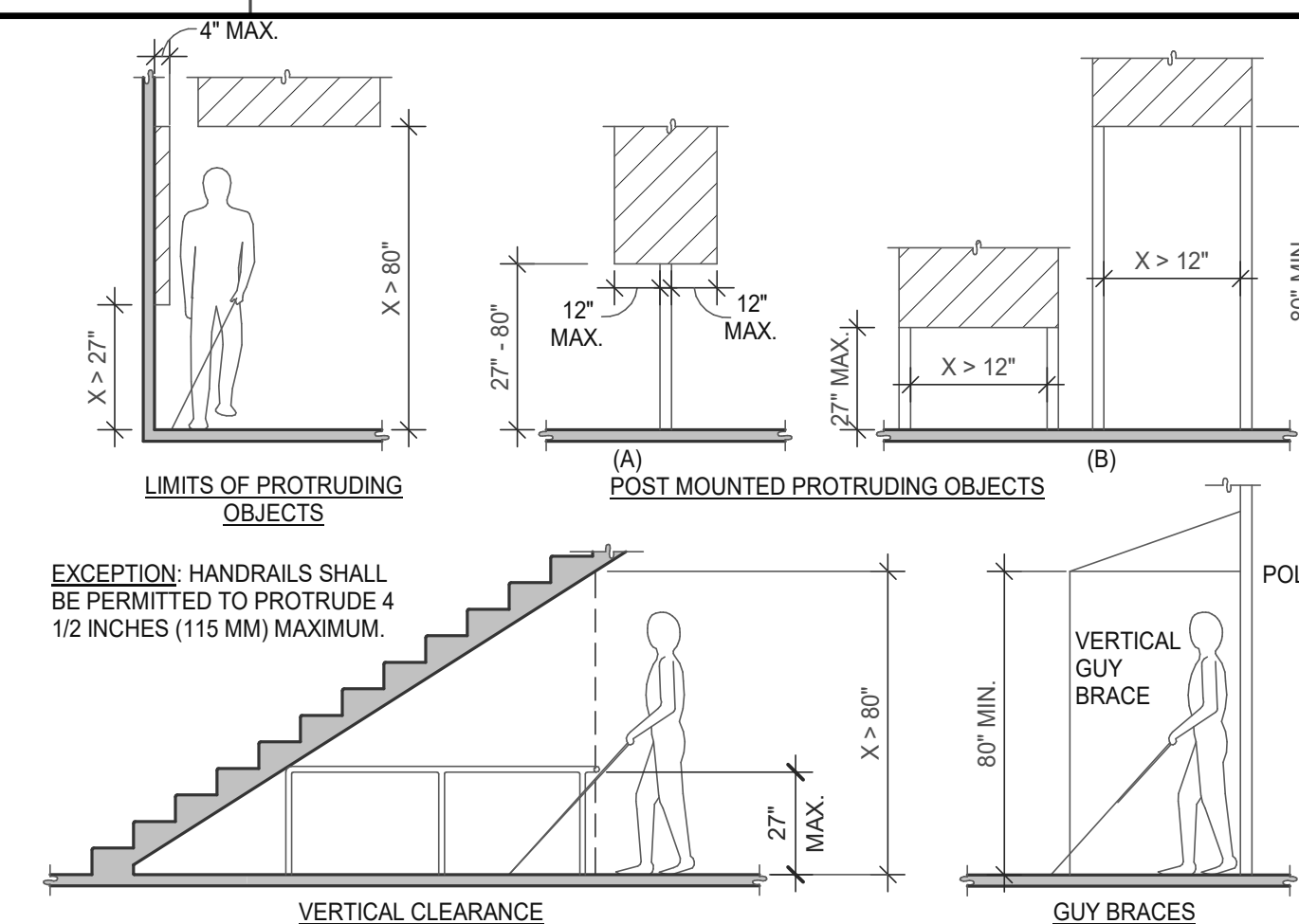
SHEET
A0.2
9/26/2022 11:42:25 AM



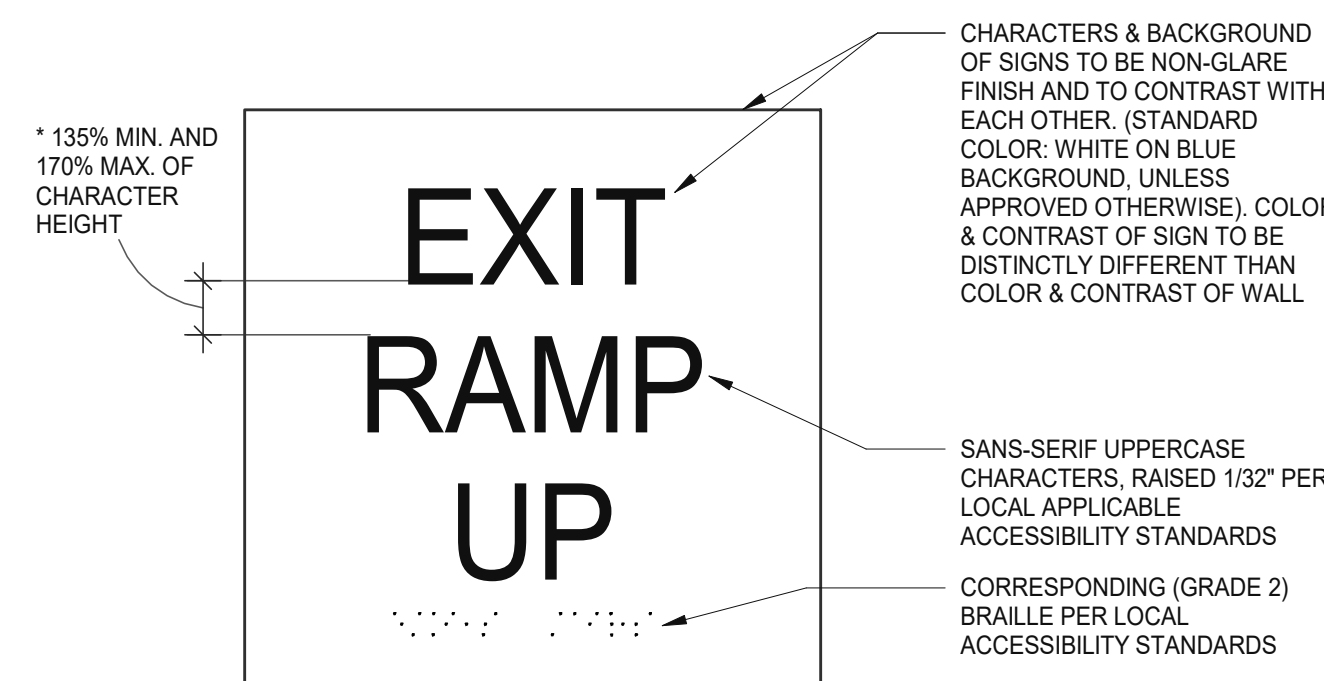
TACTILE "EXIT" SIGN 21
SCALE: 3" = 1'-0"



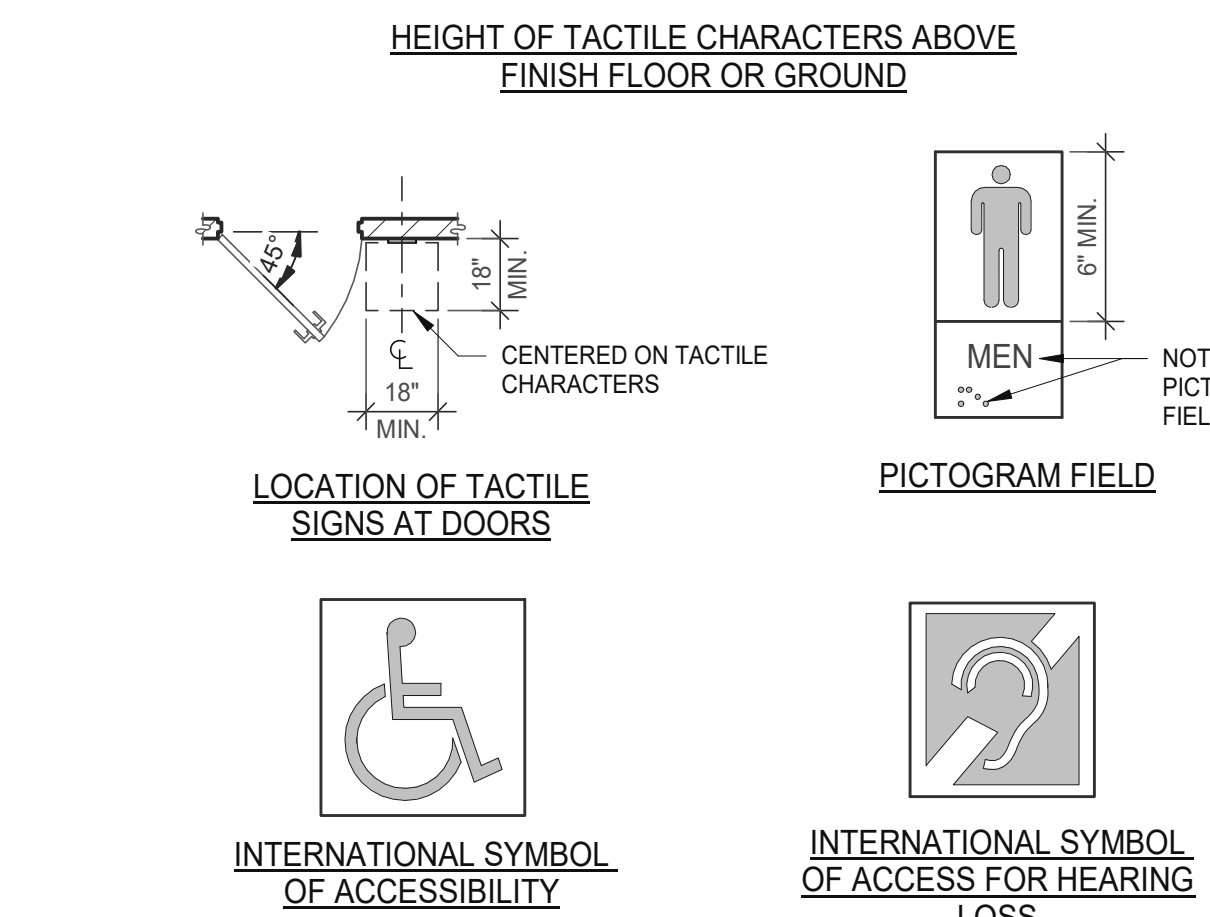
REACH RANGES 6
SCALE: 1/4" = 1'-0"



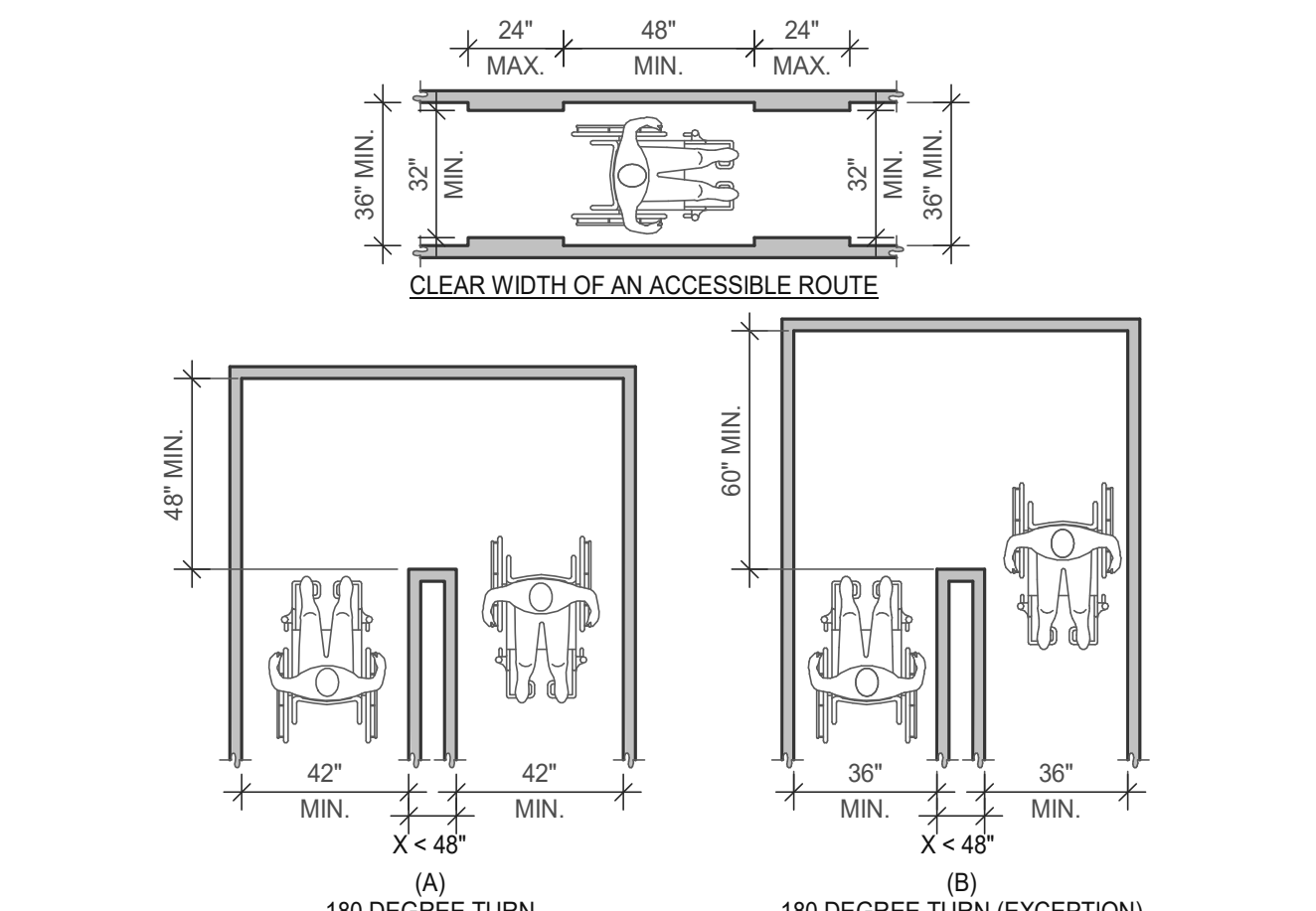
PROTRUDING OBJECTS 1
SCALE: 1/4" = 1'-0"



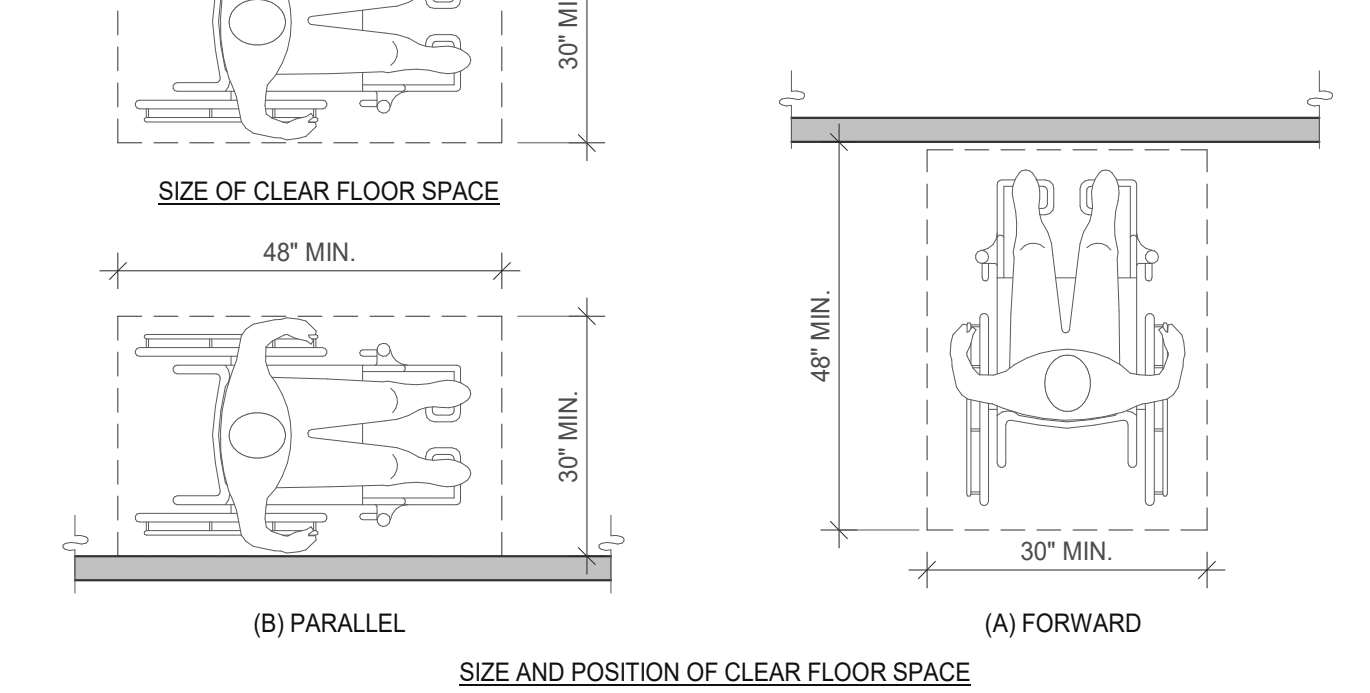
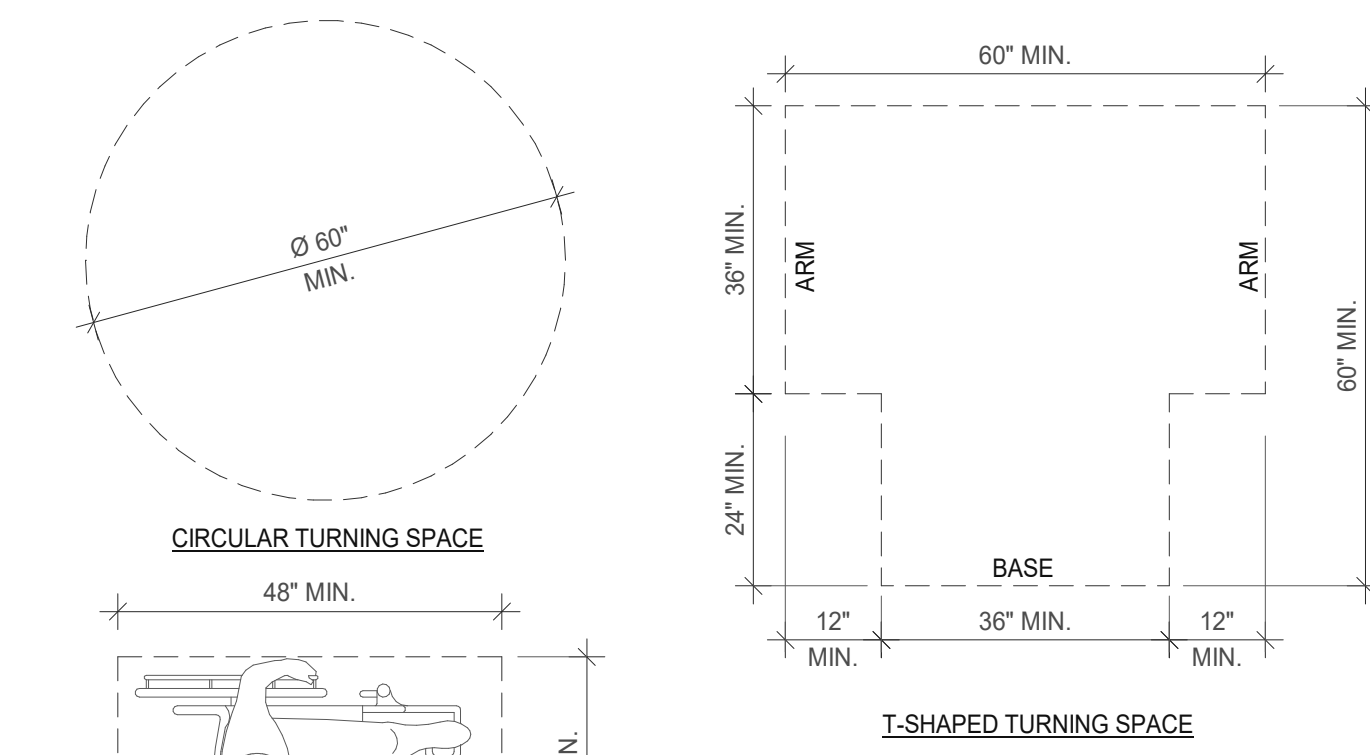
TACTILE "EXIT RAMP UP" SIGN 12
SCALE: 3" = 1'-0"



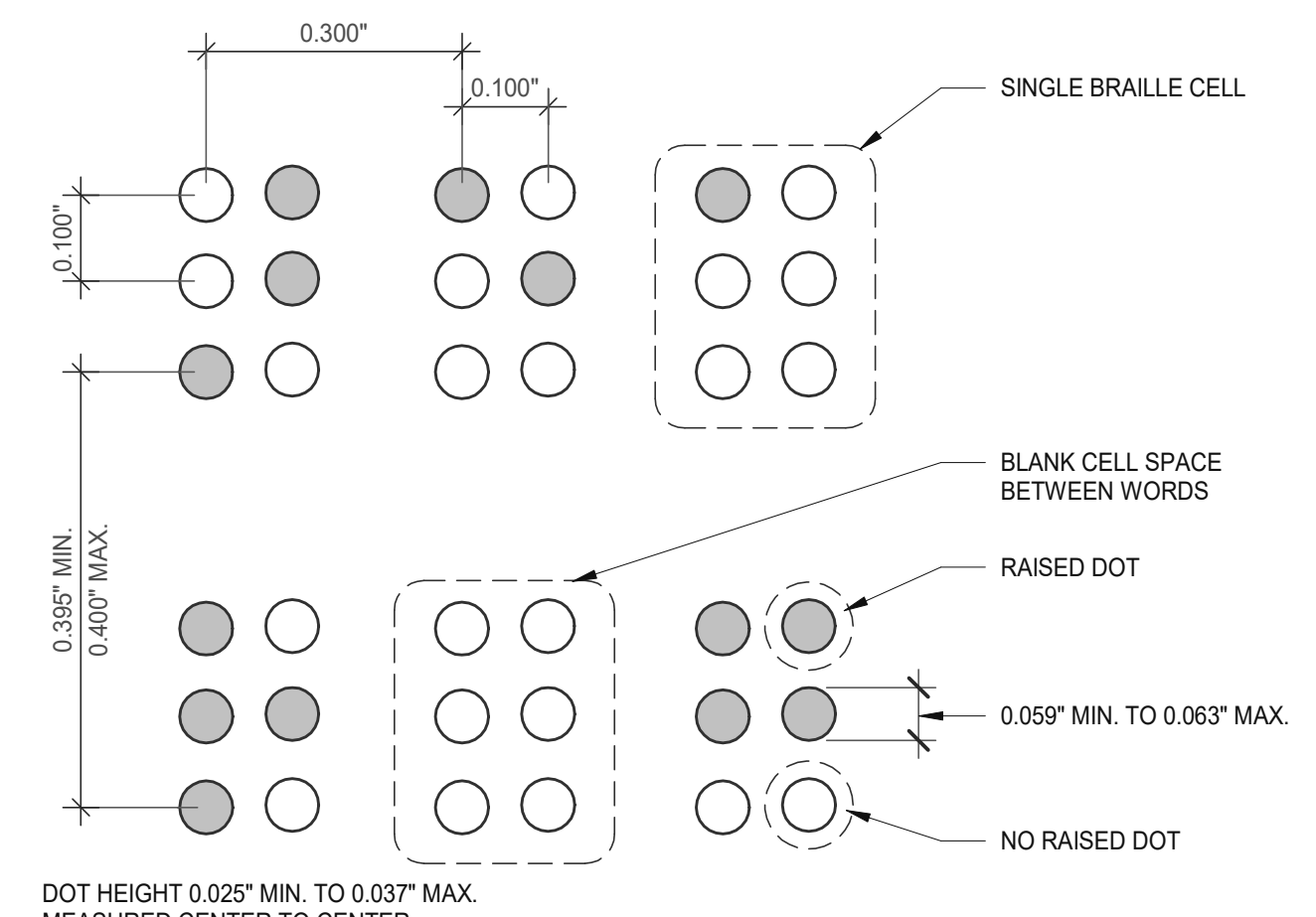
SIGNS 17
N.T.S.



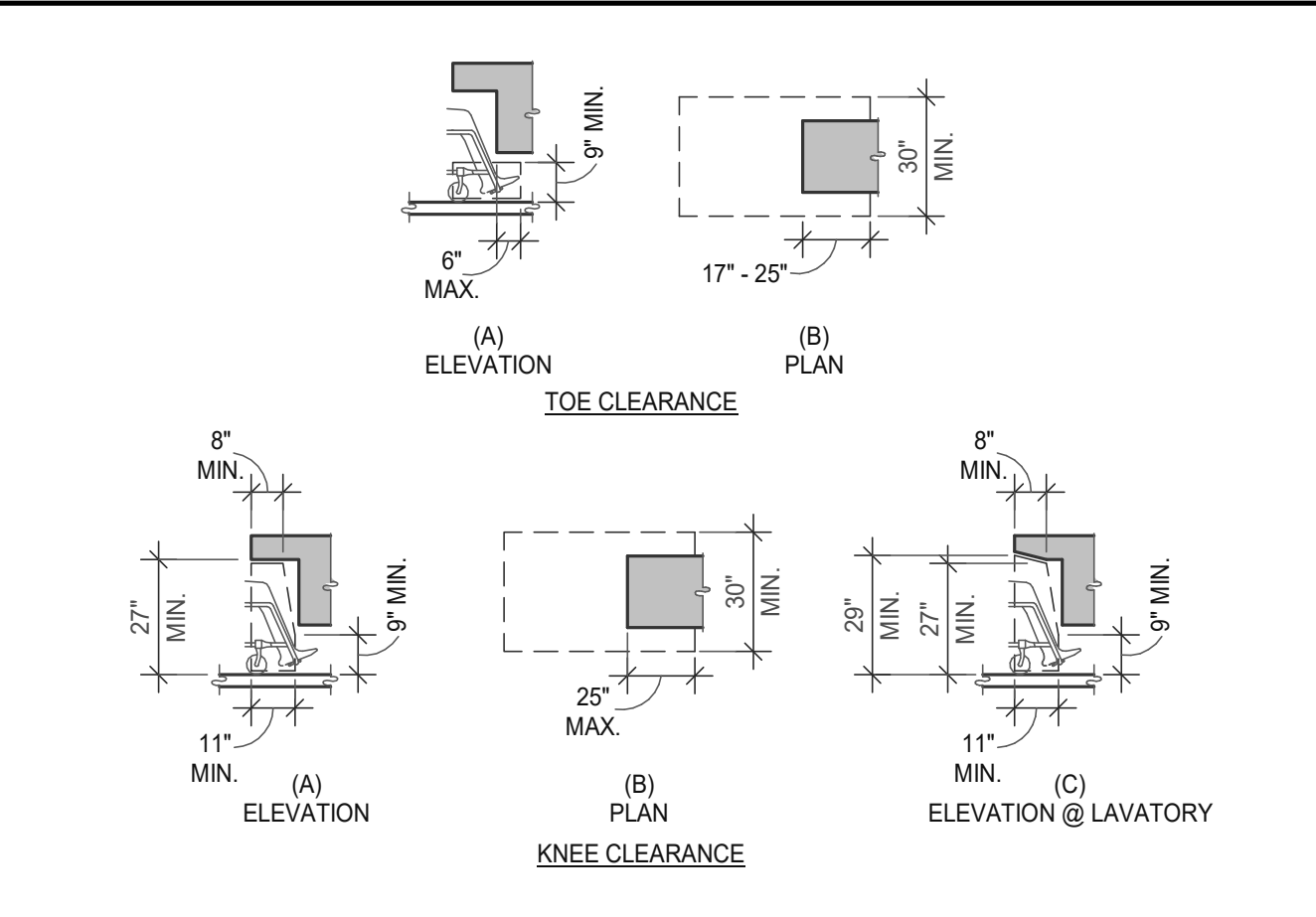
CLEAR WIDTH 7
SCALE: 1/4" = 1'-0"



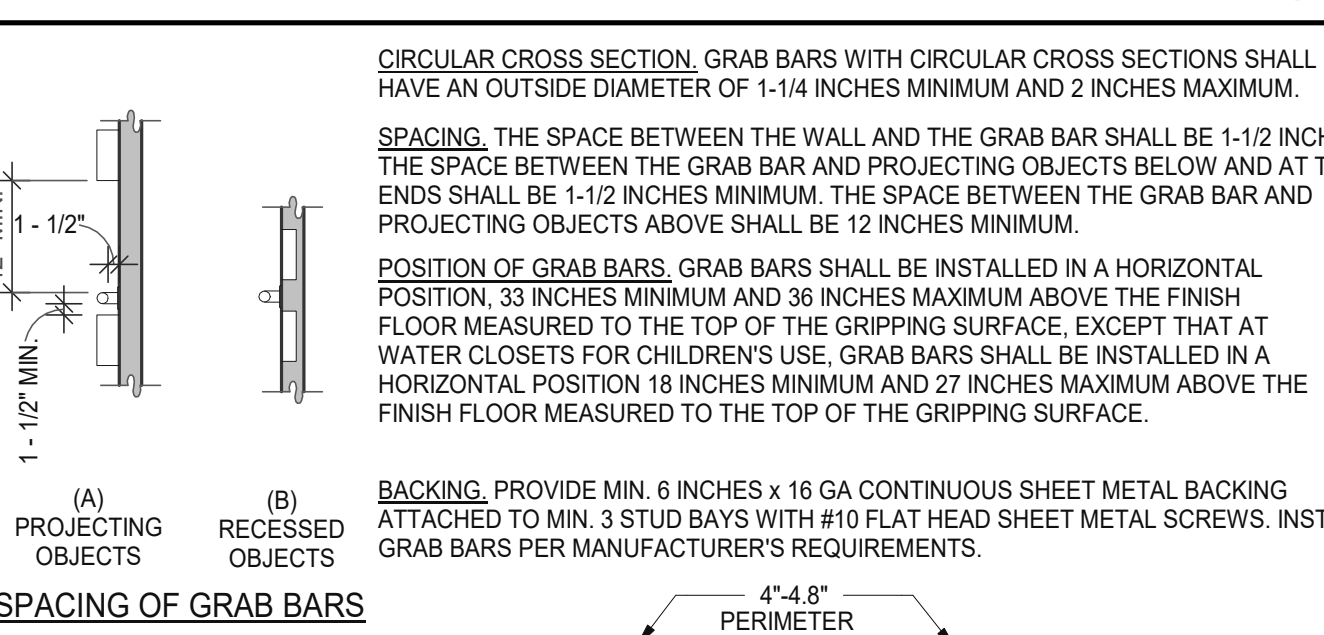
CLEAR FLOOR OR GROUND SPACE 3
SCALE: 1/2" = 1'-0"



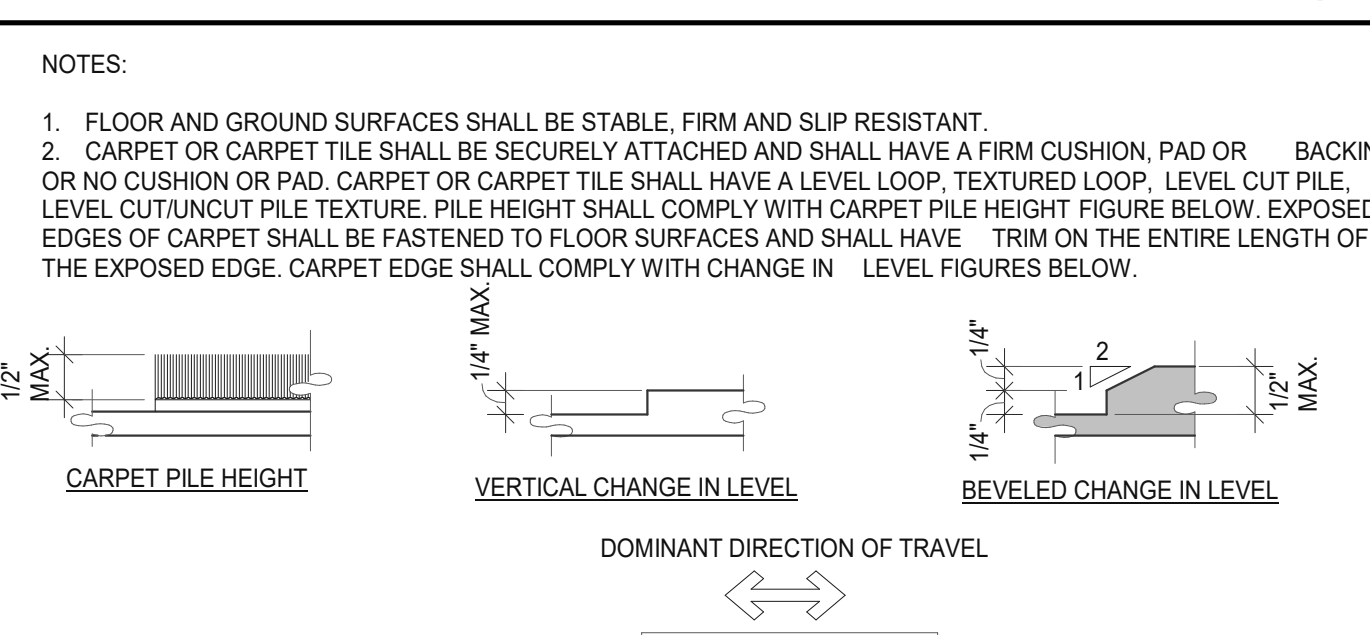
BRAILLE MEASUREMENT 18
N.T.S.



KNEE AND TOE CLEARANCE 8
SCALE: 1/4" = 1'-0"



GRAB BARS 9
SCALE: 1/4" = 1'-0"



FLOOR OR GROUND SURFACES & CHANGES IN LEVEL 4
SCALE: 1/2" = 1'-0"

HEIGHT TO FINISH FLOOR FROM BASELINE OF CHARACTER	HORIZONTAL VIEWING DISTANCE	MINIMUM CHARACTER HEIGHT
40 INCHES TO LESS THAN OR EQUAL TO 70 INCHES	LESS THAN 72 INCHES	5/8 INCH
	72 INCHES AND GREATER	5/8 INCH, PLUS 1/8 INCH PER FOOT OF VIEWING DISTANCE ABOVE 72 INCHES
GREATER THAN 70 INCHES TO LESS THAN OR EQUAL TO 120 INCHES	LESS THAN 180 INCHES	2 INCHES
	180 INCHES AND GREATER	2 INCHES, PLUS 1/8 INCH PER FOOT OF VIEWING DISTANCE ABOVE 180 INCHES
GREATER THAN 120 INCHES	LESS THAN 21 FEET	3 INCHES
	21 FEET AND GREATER	3 INCHES, PLUS 1/8 INCH PER FOOT OF VIEWING DISTANCE ABOVE 21 FEET

VISUAL CHARACTER HEIGHT 10
SCALE: 1/2" = 1'-0"



"NO SMOKING" SIGN 2
SCALE: 3" = 1'-0"

WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
4653 Chabot Dr., Suite #200
Pleasanton, CA 94588
P: 925.244.9820
F: 925.244.9820

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE., STOCKTON, CALIFORNIA 95206

ACCESSIBILITY DETAILS

DATE: 12/20/2021
SITE AND DESIGN REVIEW SUBMITTAL

REMARKS

PAPM: P. KING
DRAWN BY: M.I.E.S.
JOB NO.: SNR21-0017-00

SHEET
A0.3a

5.504.4.3 PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AREA ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AS SHOWN IN TABLE 5.504.4.3. UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 2019 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 SHALL APPLY.

TABLE 5.504.4.3 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS GRAMS OF VOC PER LITER OF COATING, LESS WATER AND LESS EXEMPT COMPOUNDS

Table with 2 columns: COATING CATEGORY and CURRENT VOC LIMIT. Lists various coating types like Flat Coating, Nonflat Coating, etc., with their respective VOC limits.

SEE PROJECT SPECIFICATIONS.

5.504.4.3.1 AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL MEET THE PM10 LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE-DEPLETING SUBSTANCES, IN SECTIONS 94522(a)(2) AND (a)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE SAN ANTONIO AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 49.

SEE PROJECT SPECIFICATIONS.

5.504.4.3.2 VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

- 1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS

SUBMITTAL AVAILABLE UPON REQUEST.

5.504.4.4 CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE STANDARDS LISTED IN SECTION 5.504.4.4.

SEE _____

5.504.4.4.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.

SEE _____

5.504.4.4.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1.

SEE _____

5.504.4.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 5.504.4.5.

TABLE 5.504.4.5 FORMALDEHYDE LIMITS MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

Table with 2 columns: PRODUCT and CURRENT LIMIT. Lists products like Hardwood Plywood Veneer Core, Particle Board, etc., with their formaldehyde limits.

SEE ARCHITECTURAL SPECIFICATIONS.

5.504.4.5.3 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE ITEMS 1 THROUGH 5 LISTED IN SECTION 5.504.4.5.3.

DOCUMENTATION AVAILABLE UPON REQUEST.

5.504.4.6 RESILIENT FLOORING SYSTEMS. FOR 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALLED RESILIENT FLOORING SHALL MEET AT LEAST ONE OF THE ITEMS 1 THROUGH 4 LISTED IN THIS SECTION.

SEE _____

5.504.4.6.1 VERIFICATION OF COMPLIANCE. DOCUMENTATION SHALL BE PROVIDED VERIFYING THAT RESILIENT FLOORING MATERIALS MEET THE POLLUTANT EMISSION LIMITS.

SEE _____

5.504.5.3 FILTERS. IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MERV OF 8. MERV 8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

SEE MECHANICAL DRAWINGS.

5.504.5.3.1 LABELING. INSTALLED FILTERS SHALL BE CLEARLY LABELED BY THE MANUFACTURER INDICATING THE MERV RATING.

SECTION 5.503 FIREPLACES

5.503.1 GENERAL. INSTALL ONLY A DIRECT-VENT SEALED-COMBUSTION GAS OR SEALED WOOD-BURNING FIREPLACE OR A SEALED WOODSTOVE AND REFER TO RESIDENTIAL REQUIREMENTS IN THE CALIFORNIA ENERGY CODE, TITLE 24, PART 6, SUBCHAPTER 7, SECTION 150.

N/A.

5.503.1.1 WOODSTOVES. WOODSTOVES SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS.

N/A.

SECTION 5.504 POLLUTANT CONTROL

5.504.1 TEMPORARY VENTILATION. THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.

5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC SHEETMETAL, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.

CONTRACTOR TO PROVIDE.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.4.

SEE PROJECT SPECIFICATIONS.

5.504.4.1 ADHESIVES, SEALANTS AND CAULKS.

- 1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE SEALERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCCADM RULE 1188 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1188 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW.
2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE PVC STANDARDS AND OTHER EQUIPMENT QUALITY MANAGEMENT DISTRICT RULES OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

TABLE 5.504.4.1 ADHESIVE VOC LIMIT LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER

Table with 2 columns: ARCHITECTURAL APPLICATIONS and CURRENT VOC LIMIT. Lists applications like Indoor Carpet Adhesives, Carpet Pad Adhesives, etc., with their VOC limits.

SEE PROJECT SPECIFICATIONS.

5.504.4.2 BASIS OF DESIGN (BOD). A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED BEFORE THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

SEE BASIS OF DESIGN DOCUMENT.

5.504.2.2 BASIS OF DESIGN (BOD). A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED BEFORE THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

SEE BASIS OF DESIGN DOCUMENT.

5.504.2.3 COMMISSIONING PLAN. A COMMISSIONING PLAN DESCRIBING HOW THE PROJECT WILL BE COMMISSIONED SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.3.

SEE COMMISSIONING PLAN.

5.504.2.4 FUNCTIONAL PERFORMANCE TESTING. FUNCTIONAL PERFORMANCE TEST SHALL DEMONSTRATE THE CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM-TO-SYSTEM INTERFACE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. FUNCTIONAL PERFORMANCE TESTING REPORTS SHALL CONTAIN INFORMATION ADDRESSING EACH OF THE BUILDING COMPONENTS TESTED, THE TESTING METHODS UTILIZED, AND INCLUDE ANY READINGS AND ADJUSTMENTS MADE.

SEE MEP SPECIFICATIONS.

5.504.2.5 DOCUMENTATION AND TRAINING. A SYSTEM MANUAL AND SYSTEMS OPERATIONS TRAINING ARE REQUIRED INCLUDING OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS IN CALIFORNIA CODE OF REGULATIONS, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

SEE MEP SPECIFICATIONS.

5.504.2.5.1 SYSTEMS MANUAL. THE SYSTEMS MANUAL SHALL BE DELIVERED TO THE BUILDING OWNER OR REPRESENTATIVE AND FACILITIES OPERATOR AND SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.5.1.

SEE MEP SPECIFICATIONS.

5.504.2.5.2 SYSTEMS OPERATIONS TRAINING. A PROGRAM FOR TRAINING OF THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DEVELOPED AND SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.5.2.

SEE MEP SPECIFICATIONS.

5.504.2.6 COMMISSIONING REPORT. A REPORT OF COMMISSIONING PROCESS ACTIVITIES UNDERTAKEN THROUGH THE DESIGN AND CONSTRUCTION PHASES OF THE BUILDING PROJECT SHALL BE COMPLETED AND PROVIDED TO THE OWNER OR REPRESENTATIVE.

SEE _____

5.408.1.4 DOCUMENTATION. DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 5.408.1.1 THROUGH 5.408.1.3, THE WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE ACCESSIBLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.408.2 UNIVERSAL WASTE. [A] GENERAL CONTRACTOR TO PROPERLY DISPOSE OF AND DIVERT FROM LANDFILL UNIVERSAL WASTE ITEMS SUCH AS FLUORESCENT LAMPS AND BATTERIES AND MERCURY CONTAINING THERMOSTATS AS WELL AS OTHER CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS AS MENTIONED IN THE CALIFORNIA UNIVERSAL WASTE RULE DOCUMENT: http://www.dhs.ca.gov/go/waste/pollution/legupload/open_rgs_waste_final.pdf

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. FOR A PHASED PROJECT, SUCH MATERIAL MAY BE STOCKPILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.410.1 RECYCLING BY OCCUPANTS. PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT A MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS AND METALS OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE.

5.410.1.1 ADDITIONS. [A] ALL ADDITIONS CONDUCTED WITHIN A 12-MONTH PERIOD UNDER SINGLE OR MULTIPLE PERMITS RELATING TO AN INCREASE OF 30 PERCENT OR MORE IN FLOOR AREA, SHALL PROVIDE RECYCLING AREAS ON SITE.

EXCEPTION: ADDITIONS WITHIN A TENANT SPACE RESULTING IN LESS THAN A 30-PERCENT INCREASE IN THE TENANT SPACE FLOOR AREA.

5.410.1.2 SAMPLE ORDINANCE. SPACE ALLOCATION FOR RECYCLING AREAS SHALL COMPLY WITH CHAPTER 18, PART 3, DIVISION 10 OF THE PUBLIC RESOURCES CODE. CHAPTER 18 IS KNOWN AS THE CALIFORNIA SOLID WASTE REUSE AND RECYCLING ACCESS ACT OF 1991 (ACT).

NOTE: A SAMPLE ORDINANCE FOR USE BY LOCAL AGENCIES MAY BE FOUND IN 5.410.1 RECYCLING BY OCCUPANTS.

SEE ARCHITECTURAL DRAWINGS.

5.410.2 COMMISSIONING. FOR NEW BUILDINGS 10,000 SQUARE FEET AND OVER, BUILDING COMMISSIONING SHALL BE INCLUDED IN THE DESIGN AND CONSTRUCTION PROCESS OF THE BUILDING PROJECT TO VERIFY THAT THE BUILDING SYSTEMS AND COMPONENTS MEET THE OWNERS OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. COMMISSIONING SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION BY TRAINED PERSONNEL WITH EXPERIENCE ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. COMMISSIONING REQUIREMENTS SHALL INCLUDE: ITEMS 1 THROUGH 7 LISTED IN THIS SECTION.

EXCEPTIONS: 1. UNCONDITIONED WAREHOUSES OF ANY SIZE. 2. AREAS UNDER 10,000 SQUARE FEET USED FOR OFFICES OR OTHER ACCESSORY SPACES WITH UNCONDITIONED WAREHOUSES. 3. TENANT IMPROVEMENTS UNDER 10,000 SQUARE FEET AS DESCRIBED IN SECTION 303.1.1. 4. OPEN PARKING GARAGES OF ANY SIZE, OR OPEN PARKING GARAGE AREAS, OF ANY SIZE, WITHIN A STRUCTURE.

SEE COMMISSIONING PLAN.

5.410.2.1 OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS (OPR). THE EXPECTATIONS AND REQUIREMENTS OF THE BUILDING APPROPRIATE TO ITS PHASE SHALL BE COMPLETED BEFORE THE DESIGN PHASE OF THE PROJECT BEGINS. THIS DOCUMENTATION SHALL INCLUDE ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

SEE BASIS OF DESIGN DOCUMENT.

5.410.2.2 BASIS OF DESIGN (BOD). A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED BEFORE THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

SEE ARCHITECTURAL PLANS AND DETAILS.

5.407.2 MOISTURE CONTROL. EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING METHODS:

5.407.2.1 SPRINKLERS. PREVENT IRRIGATION SPRAY ON STRUCTURES.

SEE LANDSCAPE DRAWINGS.

5.407.2.2 ENTRIES AND OPENINGS. DESIGN EXTERIOR ENTRIES AND OPENINGS TO PREVENT WATER INTUSION INTO BUILDING.

5.407.2.2.1 EXTERIOR DOOR PROTECTION. PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS PLUS AT LEAST ONE OF THE ITEMS 1 THROUGH 4 LISTED IN THIS SECTION.

5.407.2.2.2 FLASHING. INSTALL FLASHINGS INTEGRATED WITH A DRAINAGE PLANE.

5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 5.408.1.1, 5.408.1.2 OR 5.408.1.3, OR MEET LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.408.1.1 CONSTRUCTION WASTE MANAGEMENT PLAN (MANDATORY). WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE THAT IS MORE STRINGENT, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT COMPLIES WITH ITEMS 1 THROUGH 4 OF THIS SECTION.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.408.1.2 WASTE MANAGEMENT COMPANY. UTILIZE A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION.

EXCEPTIONS TO SECTION 5.408.1.1 AND 5.408.1.2: 1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS 2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST. 3. DEMOLITION WASTE MEETING LOCAL ORDINANCE OR CALCULATED IN CONSIDERATION OF LOCAL RECYCLING FACILITIES AND MARKETS.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.408.1.3 WASTE STREAM REDUCTION ALTERNATIVE. THE CURRENT WASTE STREAM SHALL BE IDENTIFIED AND THE RATING OF EQUIPMENT AND ANY ON-SITE DISTRIBUTION TRANSFORMERS AND ITS SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL REQUIRED EVS AT FULL RATED AMPERAGE.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.303.3.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE REMOTE SHOWERHEAD SHALL BE INSTALLED IN A LOCATION THAT DOES NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER GUEY TO BE IN OPERATION AT A TIME.

SEE PLUMBING DRAWINGS.

5.303.3.4 FAUCETS AND FOUNTAINS. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.1 NONRESIDENTIAL LAVATORY FAUCETS. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.2 KITCHEN FAUCETS. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.3 WASH FOUNTAINS. WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE [RPM] SPACE (INCHES) AT 60 PSI.

5.303.3.4.4 METERING FAUCETS. METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.20 GALLONS PER CYCLE.

5.303.3.4.5 METERING FAUCETS FOR WASH FOUNTAINS. METERING FAUCETS FOR WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.20 GALLONS PER MINUTE [RPM] SPACE (INCHES) AT 60 PSI.

NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

5.303.4 COMMERCIAL KITCHEN EQUIPMENT. 5.303.4.1 FOOD WASTE DISPOSER. DISPOSERS SHALL EITHER MODULATE THE USE OF WATER TO NO MORE THAN 1 GPM WHEN THE DISPOSER IS IN USE, (NOT ACTIVELY GRINDING FOOD WASTE) AND/OR SHUT OFF AUTOMATICALLY SHUT OFF AFTER NO MORE THAN 10 MINUTES OF INACTIVITY. DISPOSERS SHALL USE NO MORE THAN 8 GPM OF WATER.

5.303.5 AREAS OF ADDITION OR ALTERATION. FOR THOSE OCCUPANCIES WITHIN THE AUTHORITY OF CALIFORNIA BUILDING STANDARDS COMMISSION AS SPECIFIED IN SECTION 103, THE PROVISIONS OF SECTION 5.303.3 SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE AND IN CHAPTER 10 OF THIS CODE.

SEE PLUMBING DRAWINGS.

SECTION 5.304 OUTDOOR WATER USE. 5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SF. 5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SF. 5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SF OR LESS. 5.304.5 GRAYWATER OR RAINWATER USE IN LANDSCAPE AREAS. 5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.

SEE LANDSCAPE IRRIGATION DRAWINGS.

SECTION 5.407 WEATHER RESISTANCE AND MOISTURE MANAGEMENT. 5.407.1 WEATHER PROTECTION. PROVIDE A WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE AS REQUIRED BY CALIFORNIA BUILDING CODE SECTION 1403.2 AND CALIFORNIA ENERGY CODE SECTION 103. MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT.

SEE ARCHITECTURAL PLANS AND DETAILS.

5.407.2 MOISTURE CONTROL. EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING METHODS:

5.407.2.1 SPRINKLERS. PREVENT IRRIGATION SPRAY ON STRUCTURES.

SEE LANDSCAPE DRAWINGS.

5.407.2.2 ENTRIES AND OPENINGS. DESIGN EXTERIOR ENTRIES AND OPENINGS TO PREVENT WATER INTUSION INTO BUILDING.

5.407.2.2.1 EXTERIOR DOOR PROTECTION. PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS PLUS AT LEAST ONE OF THE ITEMS 1 THROUGH 4 LISTED IN THIS SECTION.

5.407.2.2.2 FLASHING. INSTALL FLASHINGS INTEGRATED WITH A DRAINAGE PLANE.

5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 5.408.1.1, 5.408.1.2 OR 5.408.1.3, OR MEET LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.408.1.1 CONSTRUCTION WASTE MANAGEMENT PLAN (MANDATORY). WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE THAT IS MORE STRINGENT, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT COMPLIES WITH ITEMS 1 THROUGH 4 OF THIS SECTION.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.408.1.2 WASTE MANAGEMENT COMPANY. UTILIZE A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION.

EXCEPTIONS TO SECTION 5.408.1.1 AND 5.408.1.2: 1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS 2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST. 3. DEMOLITION WASTE MEETING LOCAL ORDINANCE OR CALCULATED IN CONSIDERATION OF LOCAL RECYCLING FACILITIES AND MARKETS.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.408.1.3 WASTE STREAM REDUCTION ALTERNATIVE. THE CURRENT WASTE STREAM SHALL BE IDENTIFIED AND THE RATING OF EQUIPMENT AND ANY ON-SITE DISTRIBUTION TRANSFORMERS AND ITS SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL REQUIRED EVS AT FULL RATED AMPERAGE.

CONTRACTOR TO DEVELOP CONSTRUCTION WASTE MANAGEMENT PLAN AND SUBMIT IT TO THE CITY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.

5.106.5.3.3 EV CHARGING SPACE CALCULATION. TABLE 5.106.5.3.3 SHALL BE USED TO DETERMINE IF SINGLE OR MULTIPLE CHARGING SPACE REQUIREMENTS APPLY FOR THE FUTURE INSTALLATION OF EVSE.

EXCEPTIONS: ON A CASE BY CASE BASIS, WHERE THE LOCAL ENFORCING AGENCY HAS DETERMINED EV CHARGING AND INFRASTRUCTURE IS NOT FEASIBLE DUE TO ONE OF THE FOLLOWING:

- 1. WHEN THERE IS INSUFFICIENT ELECTRICAL SUPPLY.
2. WHEN THERE IS EVIDENCE SUITABLE TO THE LOCAL ENFORCING AGENCY SUBSTANTIATING THAT ADDITIONAL LOCAL UTILITY INFRASTRUCTURE DESIGN OR OPERATIONAL CONSTRAINTS DIRECTLY RELATED TO THE IMPLEMENTATION OF SECTION 5.106.5.3 MAY ADVERSELY IMPACT THE CONSTRUCTION COST OF THE PROJECT.

Table with 2 columns: TOTAL NUMBER OF PARKING SPACES and NUMBER OF REQUIRED EV CHARGING SPACES. Lists ranges from 0-9 to 200 and over with corresponding required EV charging spaces.

___ TOTAL, ___ REQUIRED, ___ PROVIDED.

5.106.5.3.4 [N] IDENTIFICATION. THE SERVICE PANEL OR SUBPANEL(S) CIRCUIT DIRECTORY SHALL IDENTIFY THE RESERVED OVERCURRENT PROTECTIVE DEVICE SPACE(S) FOR FUTURE EV CHARGING AS 'EV CHARGING'. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'EV CHARGING'.

5.106.5.3.5 [N]. FUTURE CHARGING SPACES QUALIFY AS DESIGNATED PARKING AS DESCRIBED IN SECTION 5.106.5.2 DESIGNATED PARKING.

NOTES: 1. THE CALIFORNIA DEPARTMENT OF TRANSPORTATION ADOPTS AND PUBLISHES THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CALIFORNIA MUTCD) TO PROVIDE UNIFORM STANDARDS AND SPECIFICATIONS FOR ALL OFFICIAL TRAFFIC CONTROL DEVICES IN CALIFORNIA. ZERO EMISSION VEHICLE SIGNS AND PAVEMENT MARKINGS CAN BE FOUND IN THE NEW POLICES AND DIRECTIVES NUMBER 13-01. www.dts.ca.gov/hqtraffops/policy/13-01.pdf

2. SEE VEHICLE CODE SECTION 22511 FOR EV CHARGING SPACES SIGNAGE IN OFF-STREET PARKING FACILITIES AND FOR USE OF EV CHARGING SPACES.

3. THE GOVERNOR'S OFFICE OF PLANNING AND RESEARCH PUBLISHED A ZERO-EMISSION VEHICLE COMMUNITY READINESS GUIDEBOOK WHICH PROVIDES HELPFUL INFORMATION FOR LOCAL GOVERNMENTS, RESIDENTS AND BUSINESSES. www.opr.ca.gov/docs/zev_guidebook.pdf

5.106.8 LIGHT POLLUTION REDUCTION. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:

- 1. THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 0-4 AS DEFINED IN CHAPTER 10, SECTION 10-114 OF THE CALIFORNIA ADMINISTRATIVE CODE, AND
2. BACKLIGHT (B) RATINGS AS DEFINED IN ISNA TM-15-11 (SHOWN IN TABLE A-1 IN CHAPTER 8), AND
3. UPLIGHT AND GLARE RATINGS AS DEFINED IN CALIFORNIA ENERGY CODE (SHOWN IN TABLES 130-2.2-A AND 130-2.2-B IN CHAPTER 8), AND
4. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN TABLE 5.106.8 (B), OR COMPLY WITH A LOCAL ORDINANCE LOWEY ENACTED PURSUANT TO SECTION 101.7, WHICHEVER IS MORE STRINGENT.

SEE ELECTRICAL DRAWINGS FOR PHOTOMETRIC STUDY AND FIXTURE TYPES/CUTOFFS.

5.106.10 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE THOSE SHOWN IN ITEMS 1 THROUGH 5 LISTED IN THIS SECTION.

SEE CIVIL SHEETS FOR GRADING AND DRAINAGE DESIGN.

SECTION 5.201 ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS. 5.201.1 SCOPE. THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY BUILDING STANDARDS.

SEE ELECTRICAL SHEETS FOR COMPLIANCE WITH CURRENT

CALIFORNIA GREEN BUILDINGS STANDARDS CODE 2019 - NON-RESIDENTIAL MANDATORY MEASURES

INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS

SECTION 702 QUALIFICATIONS

702.1 INSTALLER TRAINING

HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

1. STATE CERTIFIED APPRENTICESHIP PROGRAMS
2. PUBLIC UTILITY TRAINING PROGRAMS
3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR, OR STATE-WIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS
4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS
5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY

702.2 SPECIAL INSPECTION

BSC WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION, THE SPECIAL INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL, OR INTERNATIONAL ASSOCIATION, AS DETERMINED BY THE LOCAL AGENCY. THE AREA OF CERTIFICATION SHALL BE CLOSELY RELATED TO THE PRIMARY JOB FUNCTION, AS DETERMINED BY THE LOCAL AGENCY.

NOTE: SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

SECTION 703 VERIFICATIONS

703.1 DOCUMENTATION

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL

WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS, OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE, CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT. WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

SEE _____

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL

BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1202 (VENTILATION) AND CHAPTER 14 (EXTERIOR WALLS)

SEE _____

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY

FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 (REQUIREMENTS FOR VENTILATION) OF THE CALIFORNIA ENERGY CODE, OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 6.

SEE _____

5.506.2 CARBON DIOXIDE (CO2) MONITORING

FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, SECTION 120.1(c)(4).

SEE _____

SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL

EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH STC VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OUTDOOR-INDOOR SOUND TRANSMISSION CLASS (OITC) DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2. SEE SECTION 5.507 FOR EXCEPTIONS.

SEE _____

5.507.4.1 EXTERIOR NOISE TRANSMISSION PRESCRIPTIVE METHOD

WALL AND FLOOR-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION OR ALTERED ENVELOPE SHALL HAVE EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES MEETING A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40 WITH EXTERIOR WINDOWS OF A MINIMUM STC 40 OR OITC OF 30 WITHIN THE 65 CNEL CONTOUR OF AN AIRPORT, FREEWAY, EXPRESSWAY, RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY SOURCE. SEE THIS SECTION FOR FULL DESCRIPTION AND EXCEPTIONS.

SEE _____

5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE

BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 dB Leq-1hr DURING ANY HOUR OF OPERATION SHALL HAVE EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OITC 30).

SEE _____

5.507.4.2 PERFORMANCE METHOD

FOR BUILDINGS LOCATED AS DEFINED IN SECTION 5.507.4.1 OR 5.507.4.1.1, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (L_{eq-1hr}) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.

5.507.4.2.1 SITE FEATURES

EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.

SEE _____

5.507.4.2.2 DOCUMENTATION OF COMPLIANCE

AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.

SEE _____

5.507.4.3 INTERIOR SOUND TRANSMISSION

WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.

SEE _____

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS

INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.

SEE _____

5.508.1.1 CHLOROFLUOROCARBONS (CFCs)

INSTALL HVAC AND REFRIGERATION EQUIPMENT THAT DOES NOT CONTAIN CFCs.

SEE _____

5.508.1.2 HALONS

INSTALL FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.

SEE _____

5.508.2 SUPERMARKET REFRIGERANT LEAK REDUCTION

NEW COMMERCIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION WHEN INSTALLED IN RETAIL FOOD STORES 8,000 SQUARE FEET OR MORE CONDITIONED AREA, AND THAT UTILIZE EITHER REFRIGERATED DISPLAY CASES, OR WALK-IN COOLERS OR FREEZERS CONNECTED TO REMOTE COMPRESSOR UNITS OR CONDENSING UNITS. THE LEAK REDUCTION MEASURES APPLY TO REFRIGERATION SYSTEMS CONTAINING HIGH-GLOBAL WARMING POTENTIAL (HIGH-GWP) REFRIGERANTS WITH A GWP OF 150 OR GREATER. NEW REFRIGERATION SYSTEMS INCLUDE BOTH NEW FACILITIES AND THE REPLACEMENT OF EXISTING REFRIGERATION SYSTEMS IN EXISTING FACILITIES. SEE SUBSECTIONS OF SUBSECTION 5.508.2 FOR DETAILED REQUIREMENTS AND EXCEPTIONS.

SEE _____

WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BUILDINGS
BUILDING MEASUREMENT
4653 Chabot Dr., Suite #200
Pleasanton, CA 94588
P 925.244.9200

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

CAL GREEN NOTES
REMARKS
SITE AND DESIGN REVIEW SUBMITTAL

DATE
12/29/2021

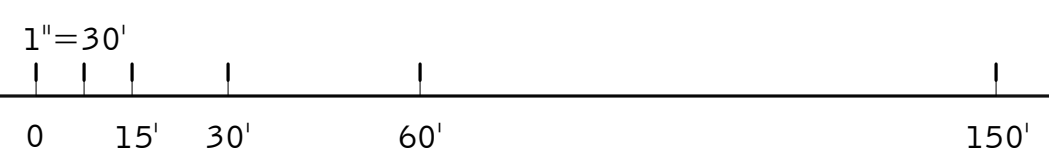
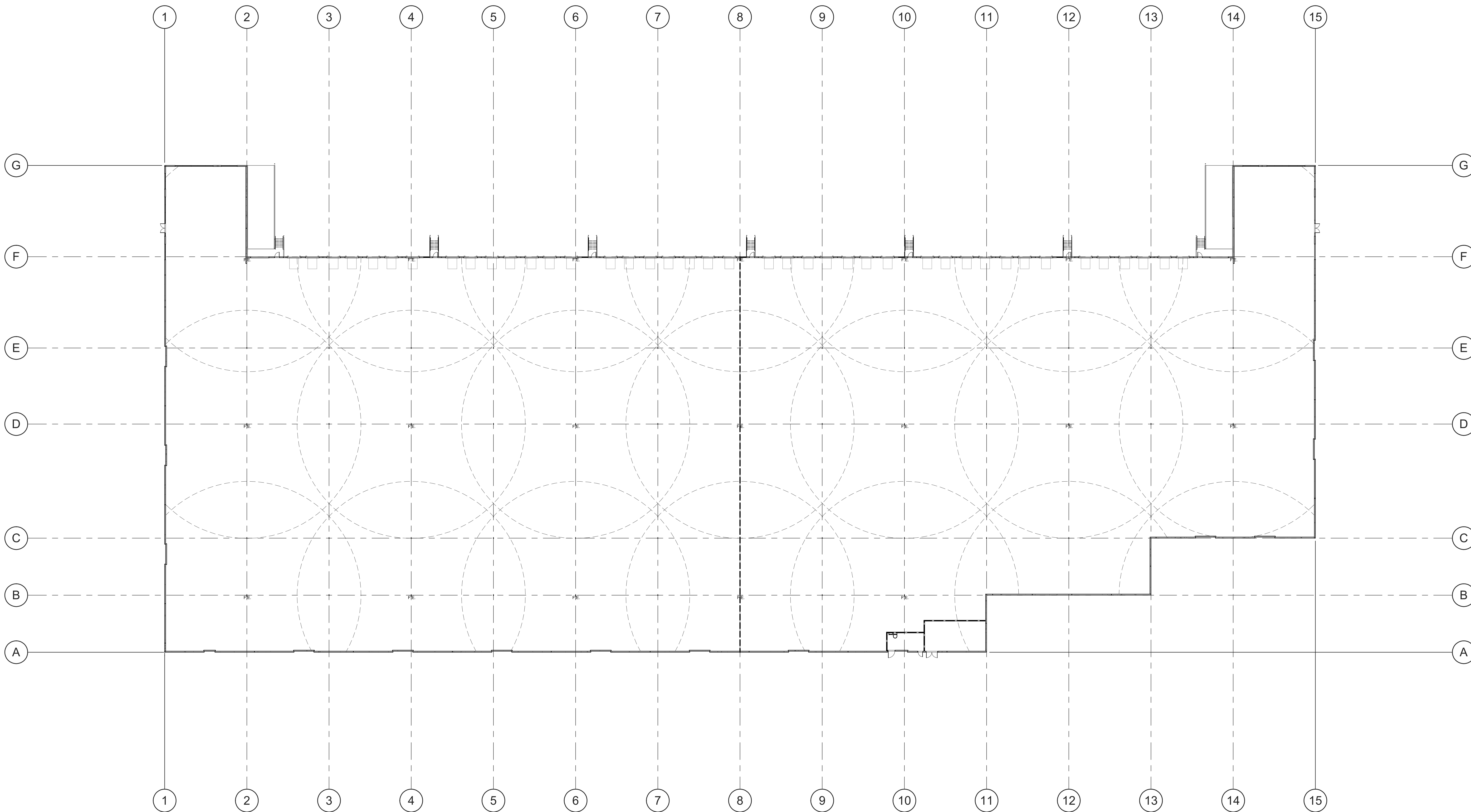
PA/PM: P. KING

DRAWN BY: M.I.E.S.

JOB NO.: SNR21-0017-00

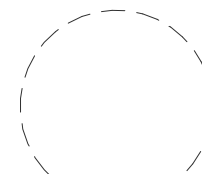
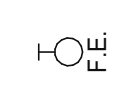
SHEET

A0.4a



FIRE EXTINGUISHER
SCALE: 1" = 30'-0"

LEGEND

-  75' RADIUS OF FIRE EXTINGUISHER
-  COLUMN / WALL MOUNTED FIRE EXTINGUISHER

NOTE: FINAL LOCATIONS AND QUANTITY OF FIRE EXTINGUISHER SUBJECT TO FIRE INSPECTOR APPROVAL.

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

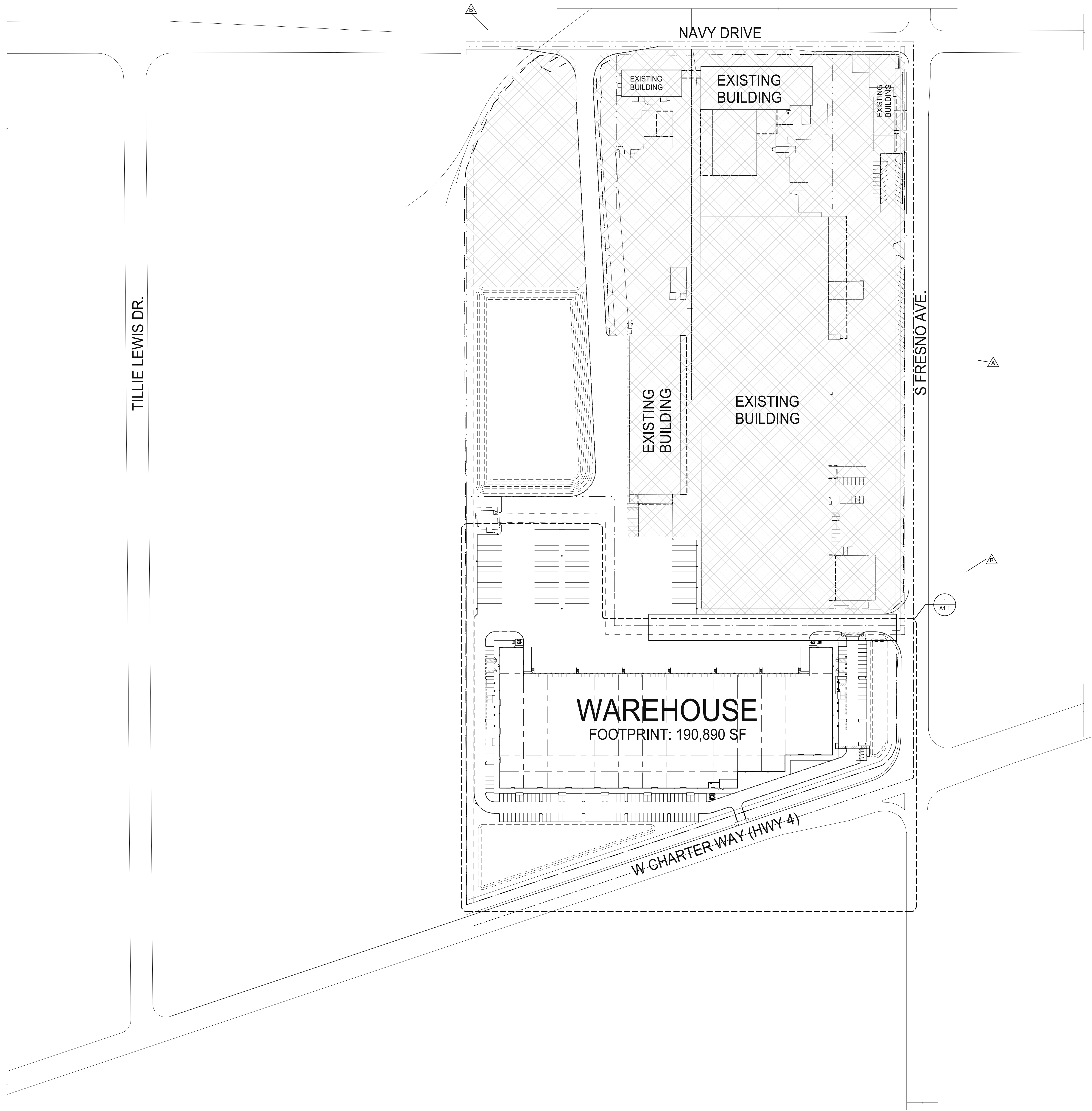
WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
4655 CHERRY DR., SUITE #200
FRESNO, CALIFORNIA
P: 559.244.8200

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

FIRE EXTINGUISHER PLAN	
DATE	REMARKS
12/29/2021	SITE AND DESIGN REVIEW SUBMITTAL

PA/PM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

SHEET
A0.6



LEGEND

- INDICATES AREA NOT IN CONTRACT (N.I.C.)
- PATH OF TRAVEL
- POLE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
- WALLPACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS
- TRANSFORMER WITH CONCRETE PAD. SEE ELECTRICAL DRAWINGS. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- P.I.V. WITH TAMPER. SEE FIRE PROTECTION DRAWINGS

WARE MALCOLM
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING BUILDING MEASUREMENT
 INTERIORS
 4655 CHUBB DR. SUITE #200
 FRESNO, CA 93726
 P: 558.244.8200

WESTCORE INDUSTRIAL BUILDING
 1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

OVERALL SITE PLAN	
DATE	REMARKS
5/29/2021	SITE AND DESIGN REVIEW SUBMITTAL
7/26/2022	FINAL PERMITS AND COMMENCEMENT RESPONSE
7/26/2022	ADDITIONAL E. ENGINEERING COMMENT OR RESPONSE

PA/PM: P. KING
 DRAWN BY: M.I.E.S.
 JOB NO.: SNR21-0017-00

SHEET
A1.0

KEYNOTES SEE SHEET A0.2 FOR GENERAL NOTES

- 100. PROPERTY LINE
101. ACCESSIBLE ENTRY SIGNAGE
102. ACCESSIBLE PARKING STALL WITH SIGNAGE
103. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE
104. PAINTED PARKING STRIPING PER CITY STANDARDS, 2'-0" PARKING OVERHANG.
105. TRASH ENCLOSURE WITH RECYCLE BIN.
106. ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
107. FIRE LANE ENTRY SIGNAGE.
108. FIRE LANE SIGNAGE.
109. SITE LIGHT AND POLE W/ CONCRETE BASE.
110. FIRE LANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
111. LANDSCAPE AND IRRIGATION AREA.
112. POURED IN PLACE CONCRETE MONUMENT SIGN WITH GROUND MOUNTED ILLUMINATION.
113. PRECAST CONCRETE WHEEL STOP.
114. ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
115. CHAINLINK FENCE.
116. CHAINLINK GATE.
117. CHAINLINK ROLLING GATE.
118. CONCRETE STOOP.
119. CONCRETE RAMP.
120. CONCRETE RETAINING WALL.
121. GALVANIZED RAILING.
122. CONCRETE PAVEMENT.
123. BIKE RACK.
124. MOW STRIP.
125. EASEMENT LINE.
126. IMAGINARY PROPERTY LINE.
127. ACCESSIBLE DIRECTIONAL SIGN.
128. STRIPE 5'x20' MINIMUM AREA FOR PASSENGER DROP-OFF AND LOADING ZONE.
129. ACCESSIBLE LOADING ZONE.
130. TRUNCATED DOMES.
131. RECESSED KNOX BOX, INSTALL AT 5'-0" ABOVE FINISH FLOOR, COORDINATE FINAL LOCATION WITH FIRE INSPECTOR.
132. 20'-0" WIDE EMERGENCY VEHICLE ACCESS (EVA) FROM WEST CHARTER WAY W/ PAVED DRIVEWAY PER CALTRANS STANDARDS. EMERGENCY VEHICLE ACCESS NEEDS TO BE CLOSED AT ALL TIMES.
133. CONCRETE POLE MOUNTED PARKING STALL.
134. SHORT-TERM AND LONG-TERM BIKE PARKING FOR THE PUBLIC AND EMPLOYEES.
135. ELECTRICAL TRANSFORMER.
136. DETENTION AREA.
137. CONDUIT STUBS FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS.
138. EXISTING FENCE TO REMAIN

WARE MALCOMB ARCHITECTURE CIVIL ENGINEERING PLANNING BRANDING BUILDING MEASUREMENT 4655 Chabot Dr., Suite #200 Fremont, CA 94538 P: 925.244.9820

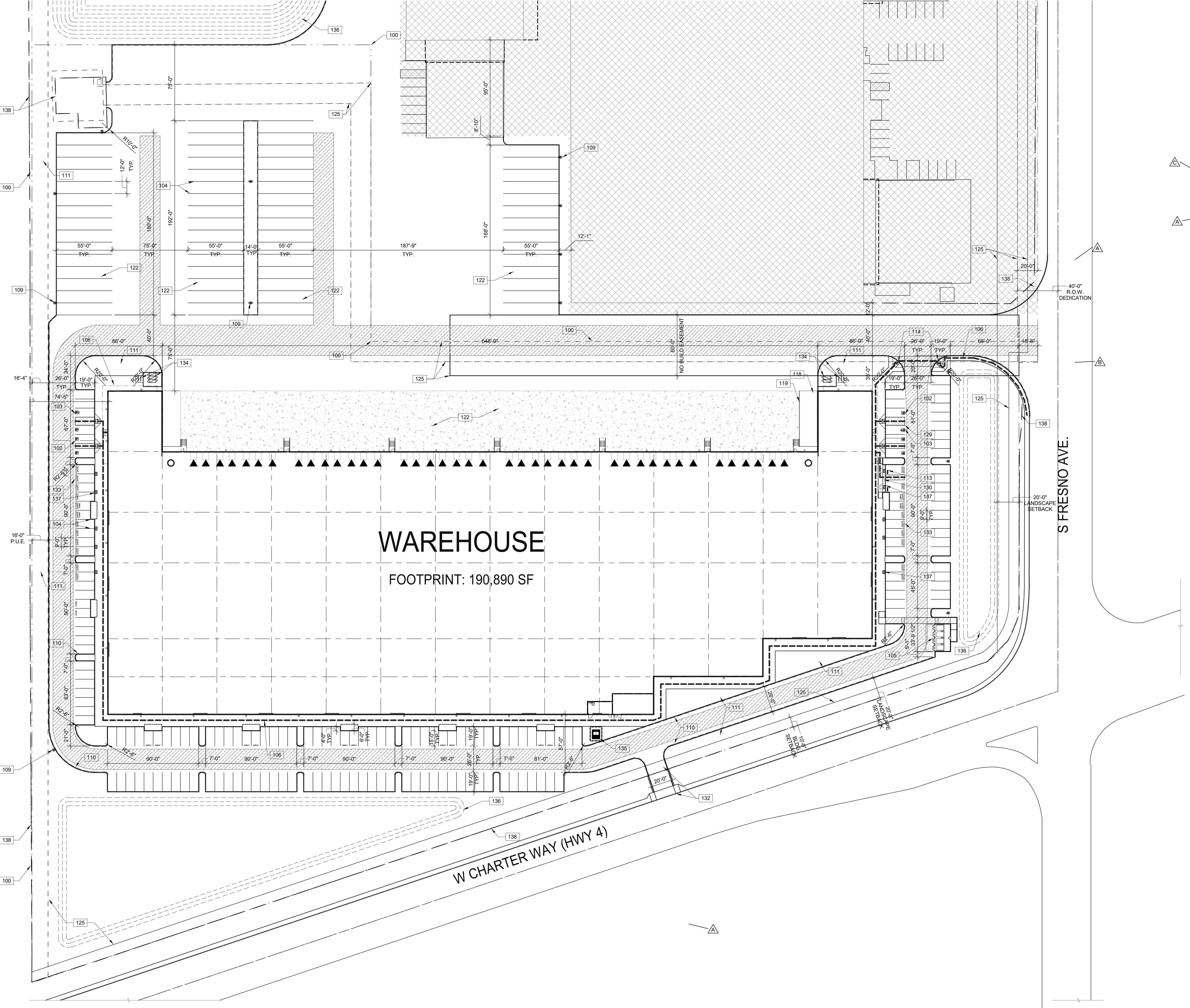
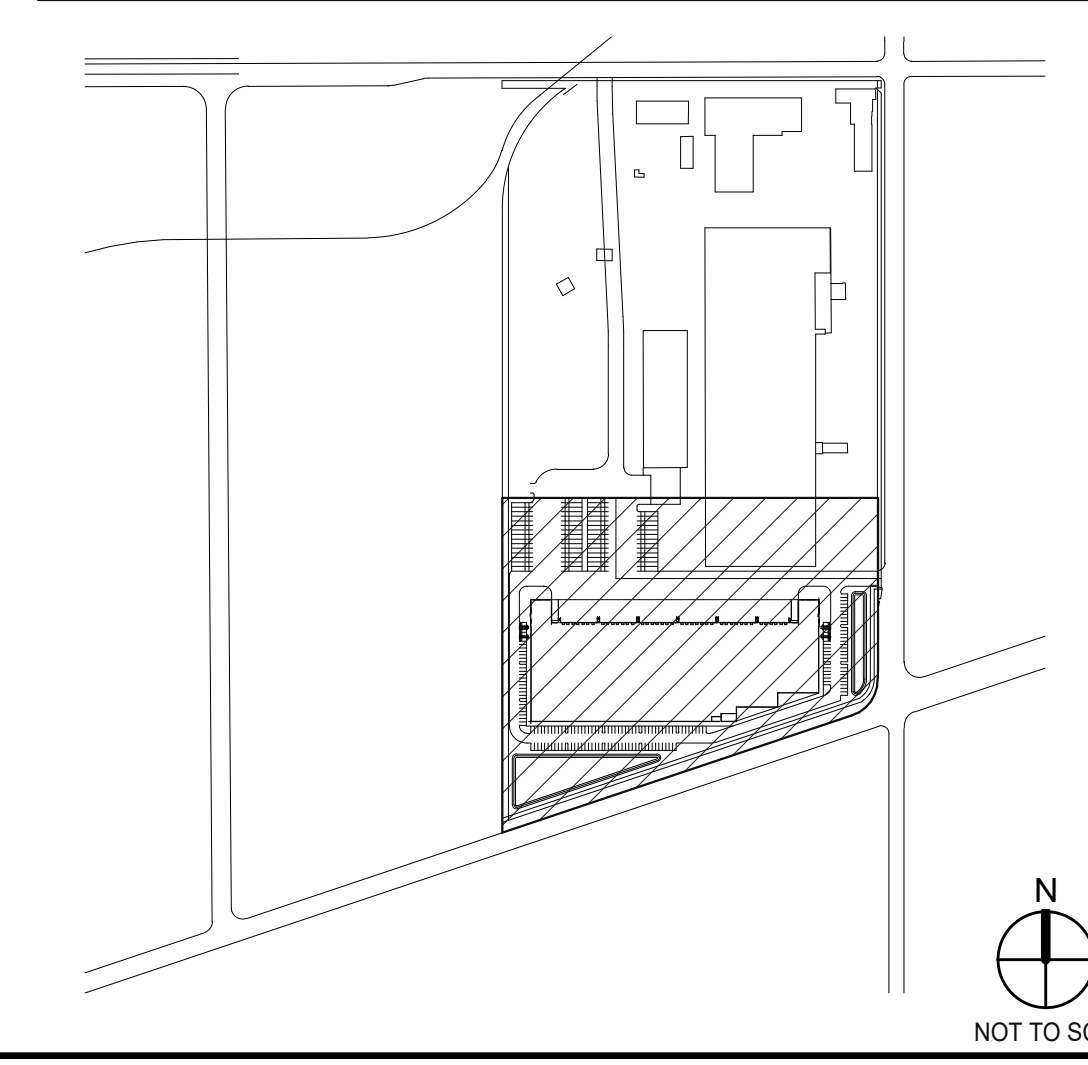
SITE LEGEND

- PROPERTY LINE
PATH OF TRAVEL
POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
WALLPACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
TRANSFORMER WITH CONCRETE PAD, SEE ELECTRICAL DRAWINGS; (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
FIRE LANE (HATCHED)
PARKING STALL COUNT TOTAL
DOCK HIGH TRUCK DOOR
GRADE LEVEL TRUCK DOOR
FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
P.I.V. WITH TAMPER, SEE FIRE PROTECTION DRAWINGS

LEGEND

- INDICATES AREA NOT IN CONTRACT (N.I.C.)

KEY PLAN



WAREHOUSE FOOTPRINT: 190,890 SF

ENLARGED SITE PLAN SCALE: 1" = 40'-0"



WESTCORE INDUSTRIAL BUILDING 1515 S. FRESNO AVE., STOCKTON, CALIFORNIA 95206

Table with columns for DATE, SITE AND DESIGN REVIEW SUBMITTAL, and REMARKS. Includes entries for 5/29/2021, 7/25/2022, and 9/23/2022.

Table with columns for P/APP, DRAWN BY, and JOB NO. Values include P. KING, M.I.E.S., and SNR21-0017-00.

SHEET A1.1

WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT

4665 Chabot Dr., Suite #200
 Fremont, CA 94538
 P: 925.244.9820

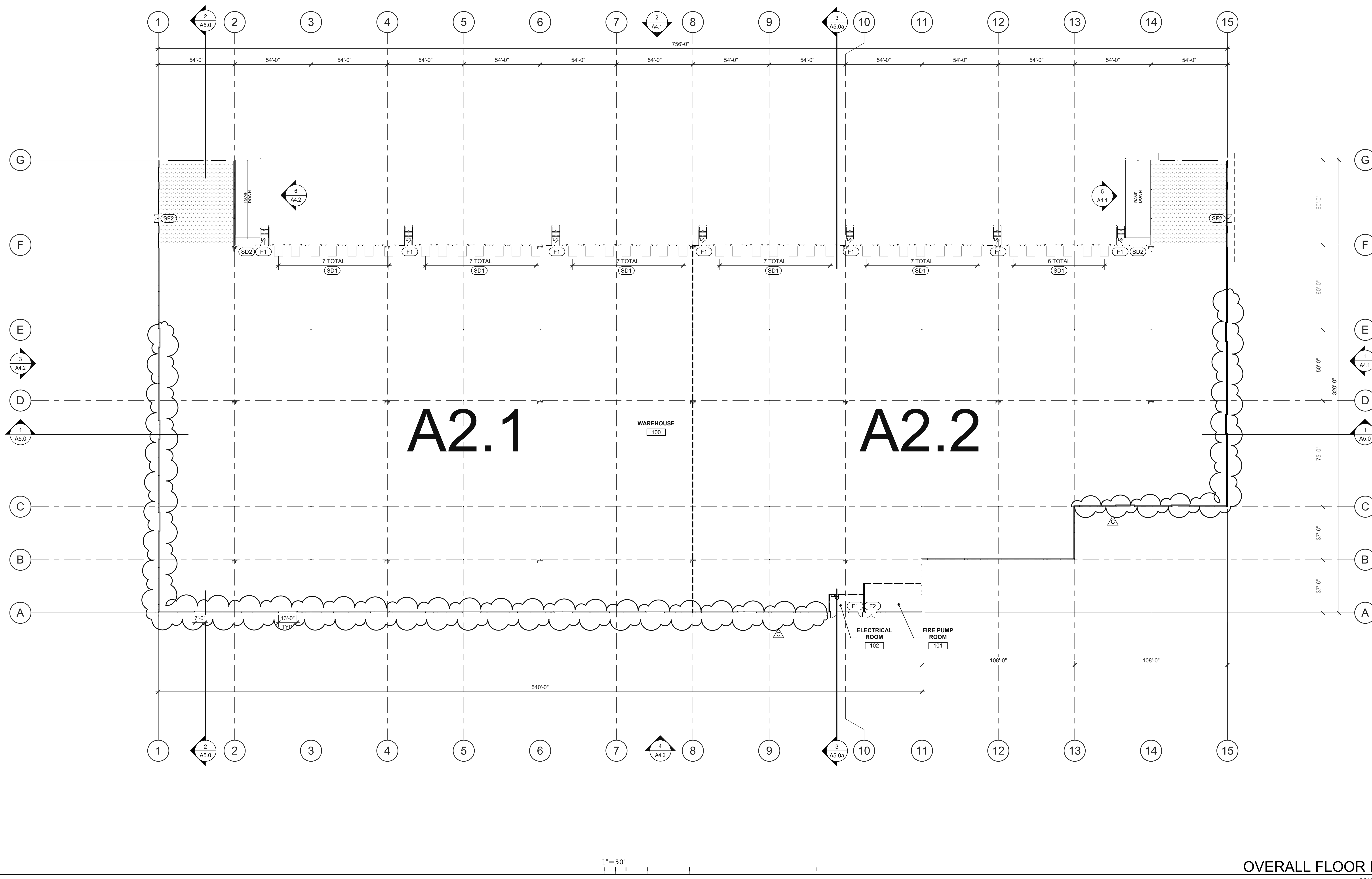
WESTCORE INDUSTRIAL BUILDING
 1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

OVERALL FLOOR PLAN

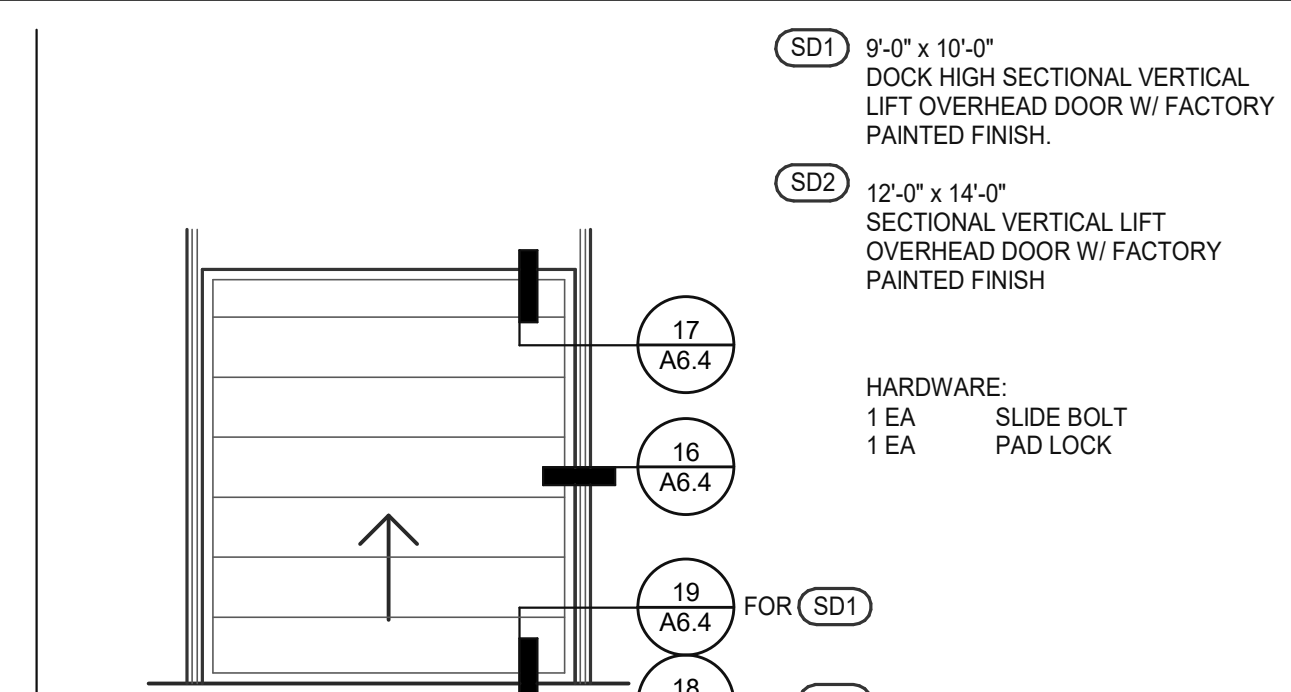
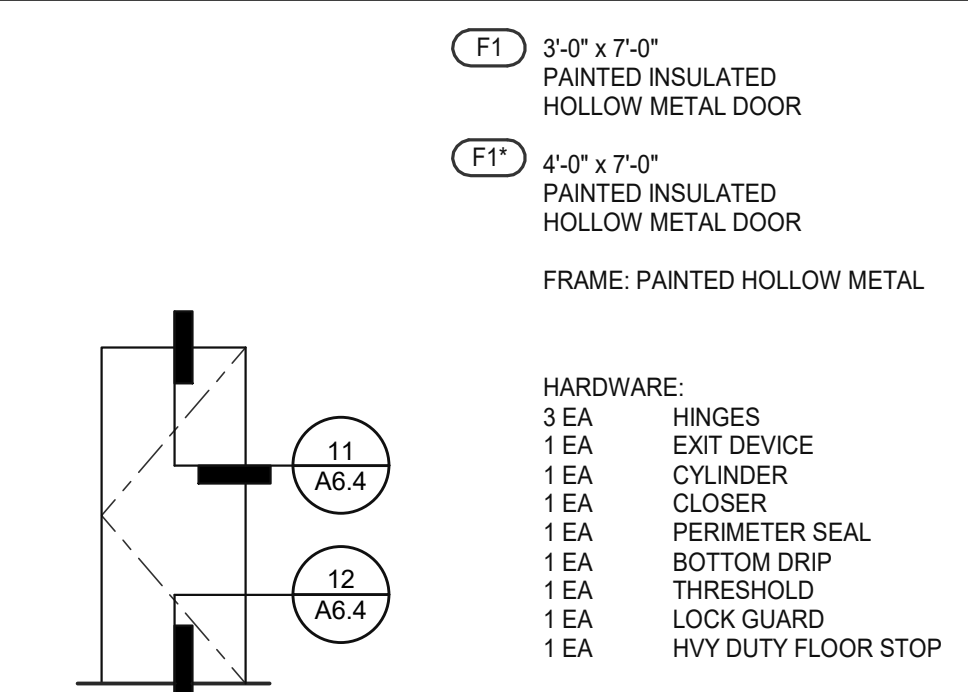
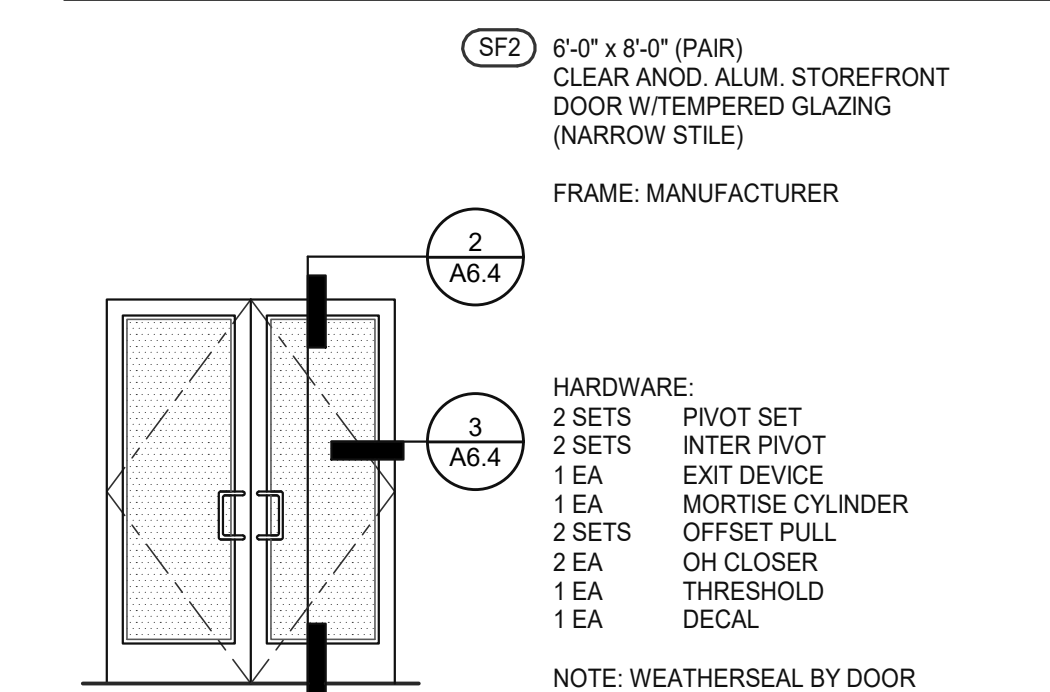
DATE	REVISIONS
5/29/2021	SITE AND DESIGN REVIEW SUBMITTAL
9/26/2022	ADDENDUM C-CALTRANS/DCR REVIEW COMMENTS RESPONSE

DATE: 9/26/2022
 P. KING
 M.I.E.S.
 SNR21-0017-00

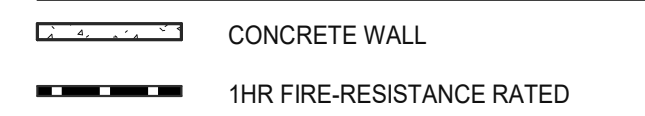
SHEET
A2.0



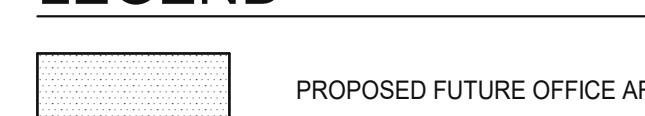
DOOR TYPES



WALL LEGEND



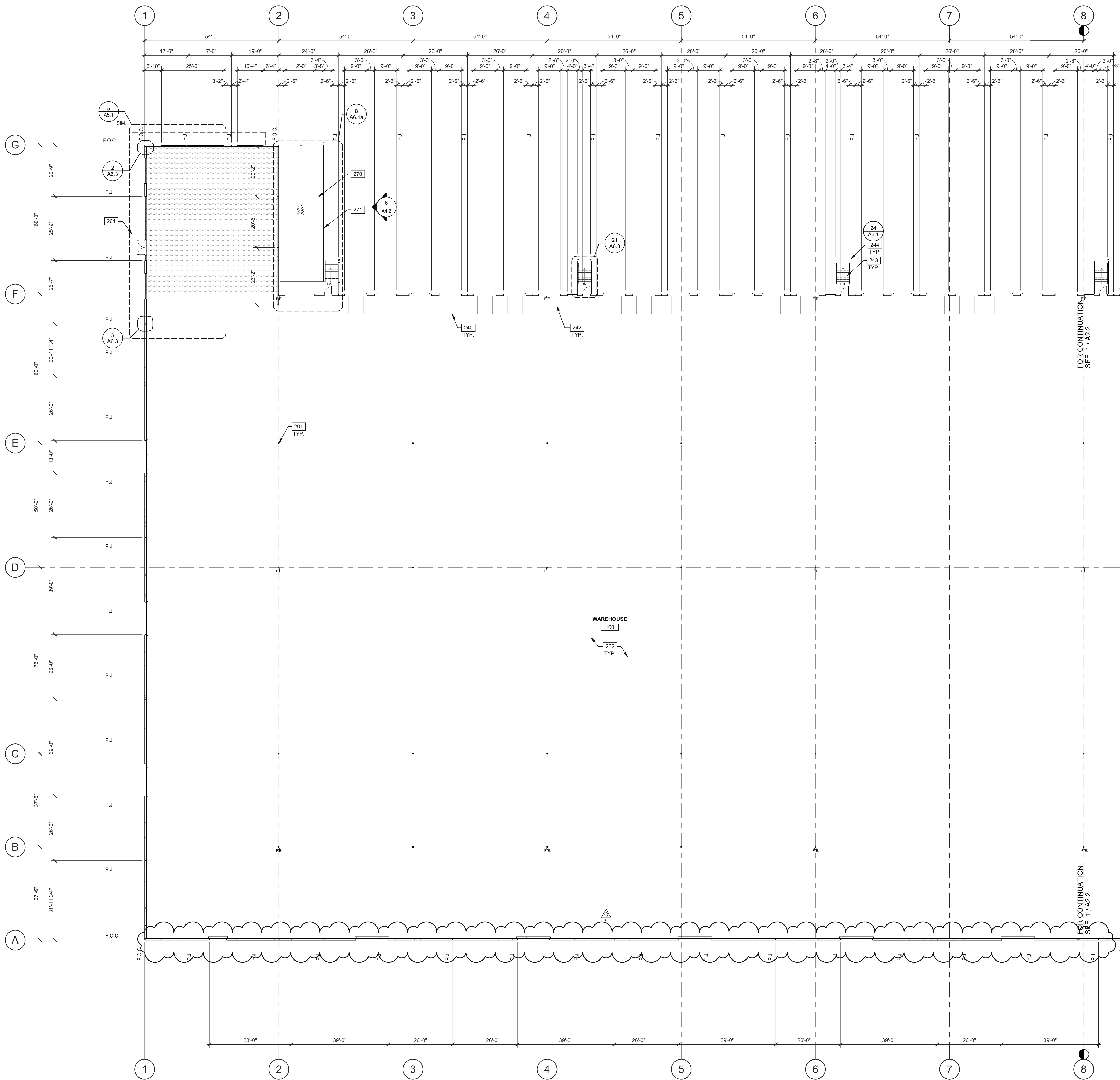
LEGEND



DOOR NOTES

BUTT HINGES:
 SDOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.
 ALL EXTERIOR OUTSWINGING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL
STOPS: TRMCO W1200 SERIES DOOR STOP
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD



KEYNOTES:

SEE SHEET A2.2 FOR GENERAL NOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 240 6"X8" HYDRAULIC DOCK LEVELER.
- 242 DOCK PIT.
- 243 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
- 244 STEEL BOLLARD. CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 270 CONCRETE RAMP.
- 271 CONCRETE RETAINING WALL.

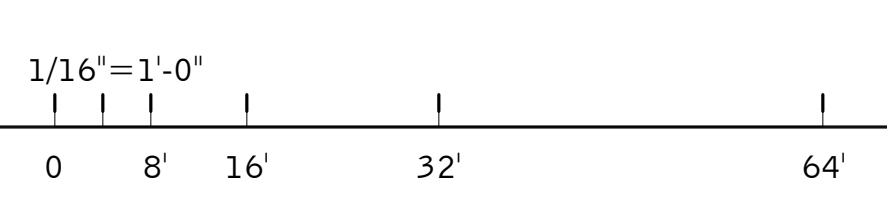
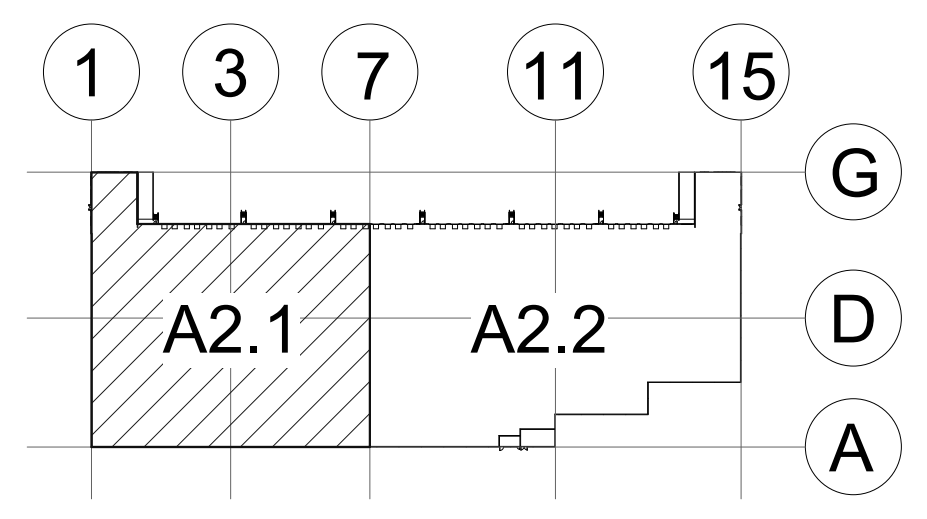
WALL LEGEND

- CONCRETE WALL
- 1HR FIRE-RESISTANCE RATED

LEGEND

- PROPOSED FUTURE OFFICE AREA

KEY PLAN



PARTIAL FLOOR PLAN

SCALE: 1/16" = 1'-0"

WARE MALCOLM

ARCHITECTURE
PLANNING
INTERIORS

4685 Chabot Dr., Suite #200
Fremont, CA 94538
P: 925.244.9820

WESTCORE INDUSTRIAL BUILDING

1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

PARTIAL FLOOR PLAN

DATE	REMARKS
5/29/2021	SITE AND DESIGN REVIEW SUBMITTAL
9/26/2022	ADDENDUM C-CALTRANS/CRC REVIEW COMMENTS RESPONSE

PAPM: P. KING
DRAWN BY: M.I.E.S.
JOB NO.: SNR21-0017-00

SHEET
A2.1

WARE MALCOLM
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 INTERIORS
 BUILDING MEASUREMENT

4655 Chabot Dr., Suite #200
 Fremont, CA 94538
 P: 925.244.9200

WESTCORE INDUSTRIAL BUILDING
 1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

PARTIAL FLOOR PLAN

DATE	REMARKS
12/20/2021 <td>SITE AND DESIGN REVIEW SUBMITTAL </td>	SITE AND DESIGN REVIEW SUBMITTAL

PA/PM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

SHEET
A2.2

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 240 6'X8' HYDRAULIC DOCK LEVELER.
- 242 DOCK PIT.
- 243 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
- 244 STEEL BOLLARD. CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 246 ROOF ACCESS LADDER.
- 270 CONCRETE RAMP.
- 271 CONCRETE RETAINING WALL.

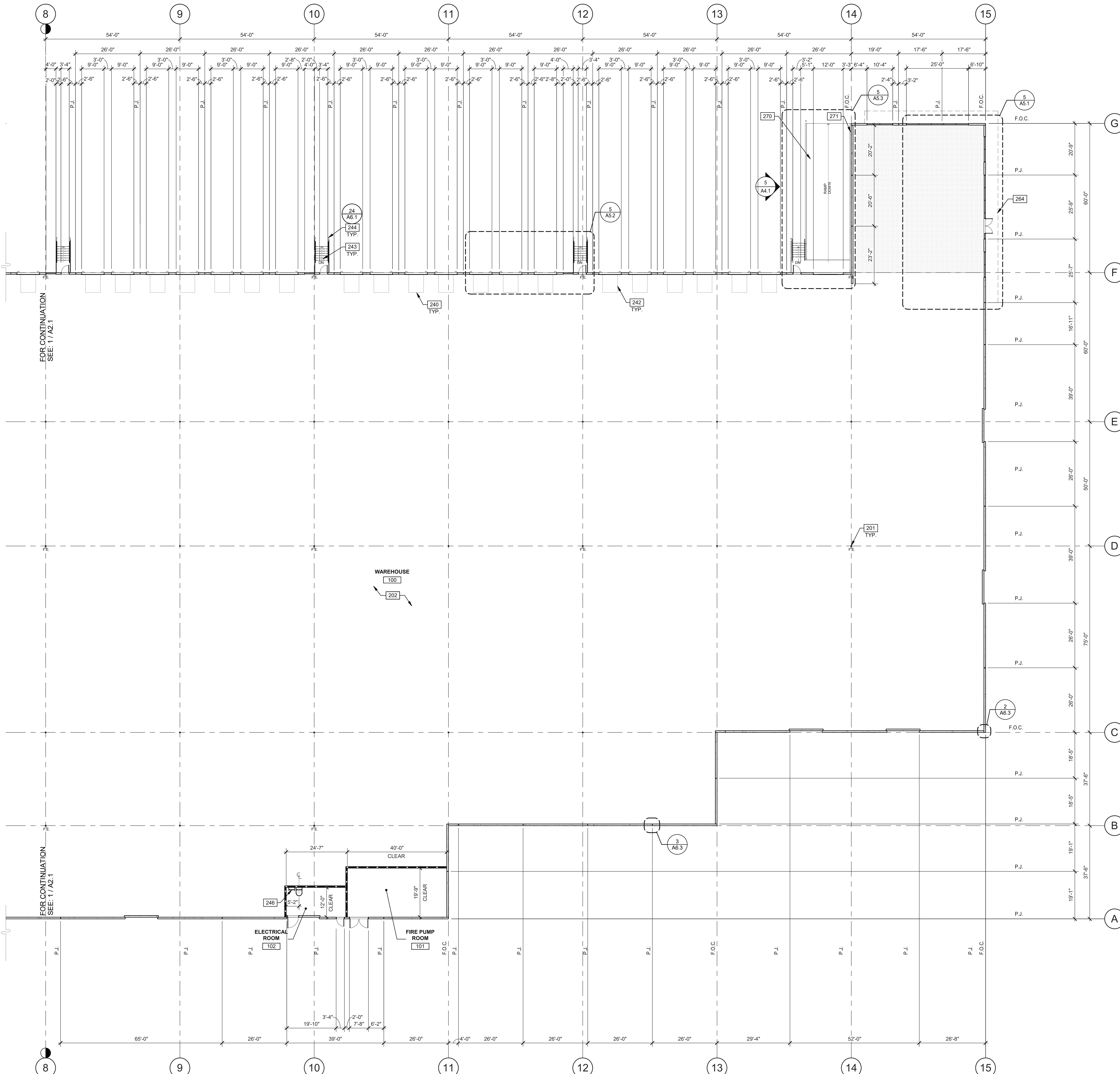
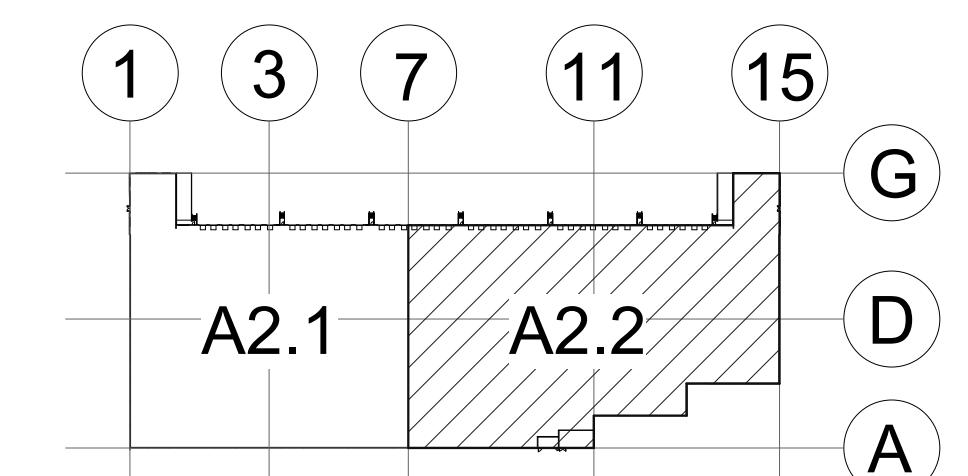
WALL LEGEND

- CONCRETE WALL
- 1HR FIRE-RESISTANCE RATED

LEGEND

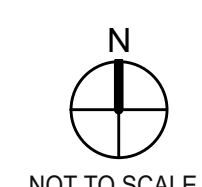
- PROPOSED FUTURE OFFICE AREA

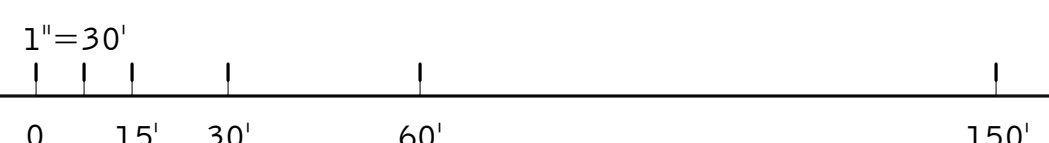
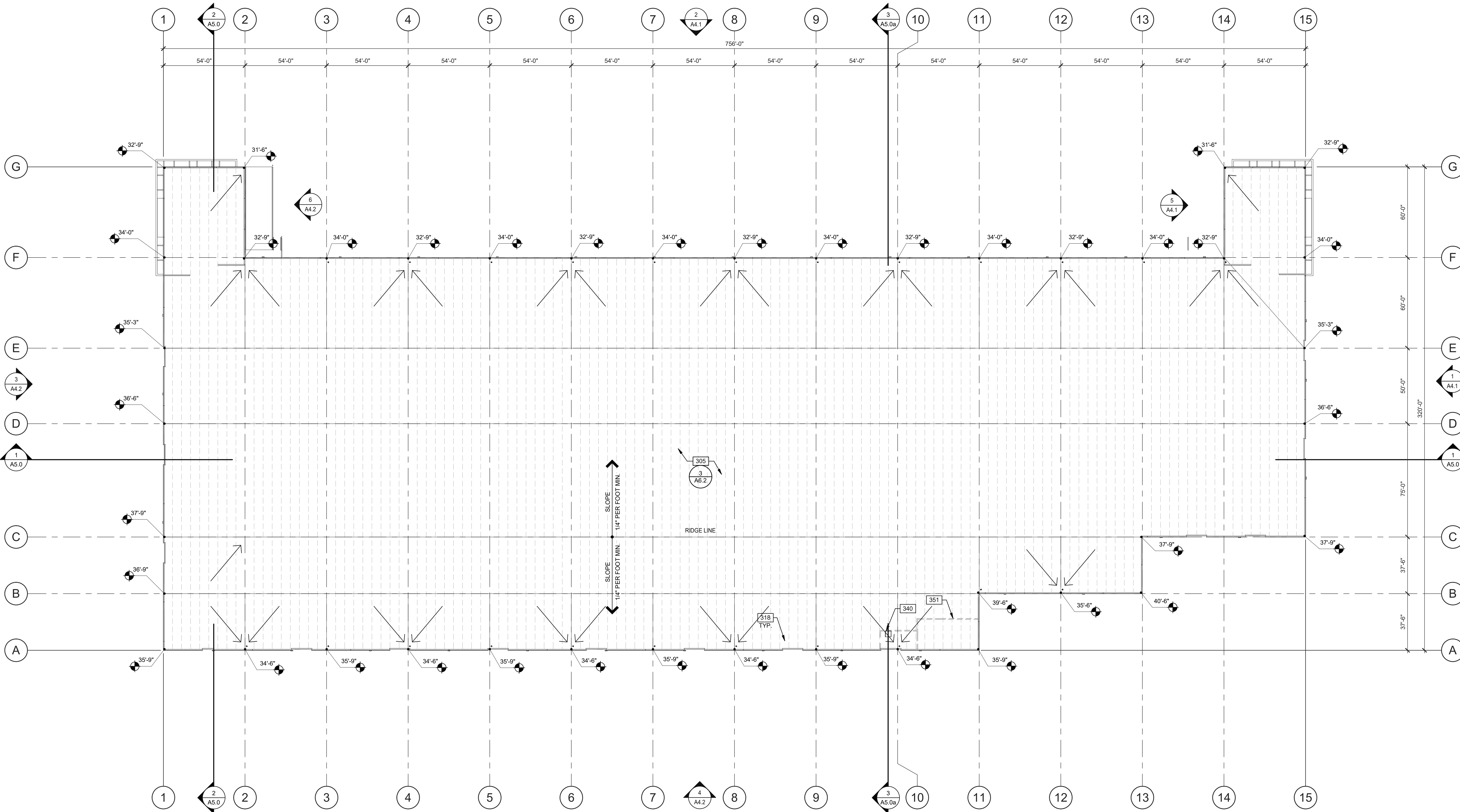
KEY PLAN



1/16" = 1'-0"
 0 8' 16' 32' 64'

PARTIAL FLOOR PLAN
 SCALE: 1/16" = 1'-0"





ROOF PLAN
SCALE: 1" = 30'-0"

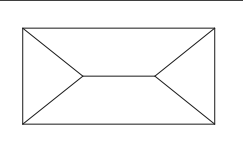
CALCULATIONS

SKYLIGHTS:
SKYLIGHT SIZE: 48'x96'=32 S.F.
[WAREHOUSE AREA S.F.] x 2.0% = $\frac{190,890.02}{32}$
(SKYLIGHT SIZE)
DESIRED: 120 SKYLIGHTS
PROVIDED: X SKYLIGHTS

FUTURE SOLAR:

ROOF AREA: XXX,XXX S.F.
SKYLIGHT AREA: XXX,XXX S.F.
ROOF AREA LESS SKYLIGHT: XXX,XXX S.F.
15% OF ROOF AREA (LESS SKYLIGHTS): XXX,XXX S.F.
TOTAL AREA FOR FUTURE SOLAR REQUIRED: XXX,XXX S.F.*
TOTAL AREA FOR FUTURE SOLAR PROVIDED: XXX,XXX S.F.
*CEC SECTION 110.10(B)(4) DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

LEGEND



SKYLIGHT: (2%)
COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 305 SINGLE-PLY ROOFING OVER WOOD DECK.
 - 318 FLOW LINE TO DRAIN.
 - 340 ROOF HATCH. VERIFY ROOF JOIST LOCATIONS WITH STRUCTURAL DRAWINGS.
 - 351 LINE OF WALL BELOW.

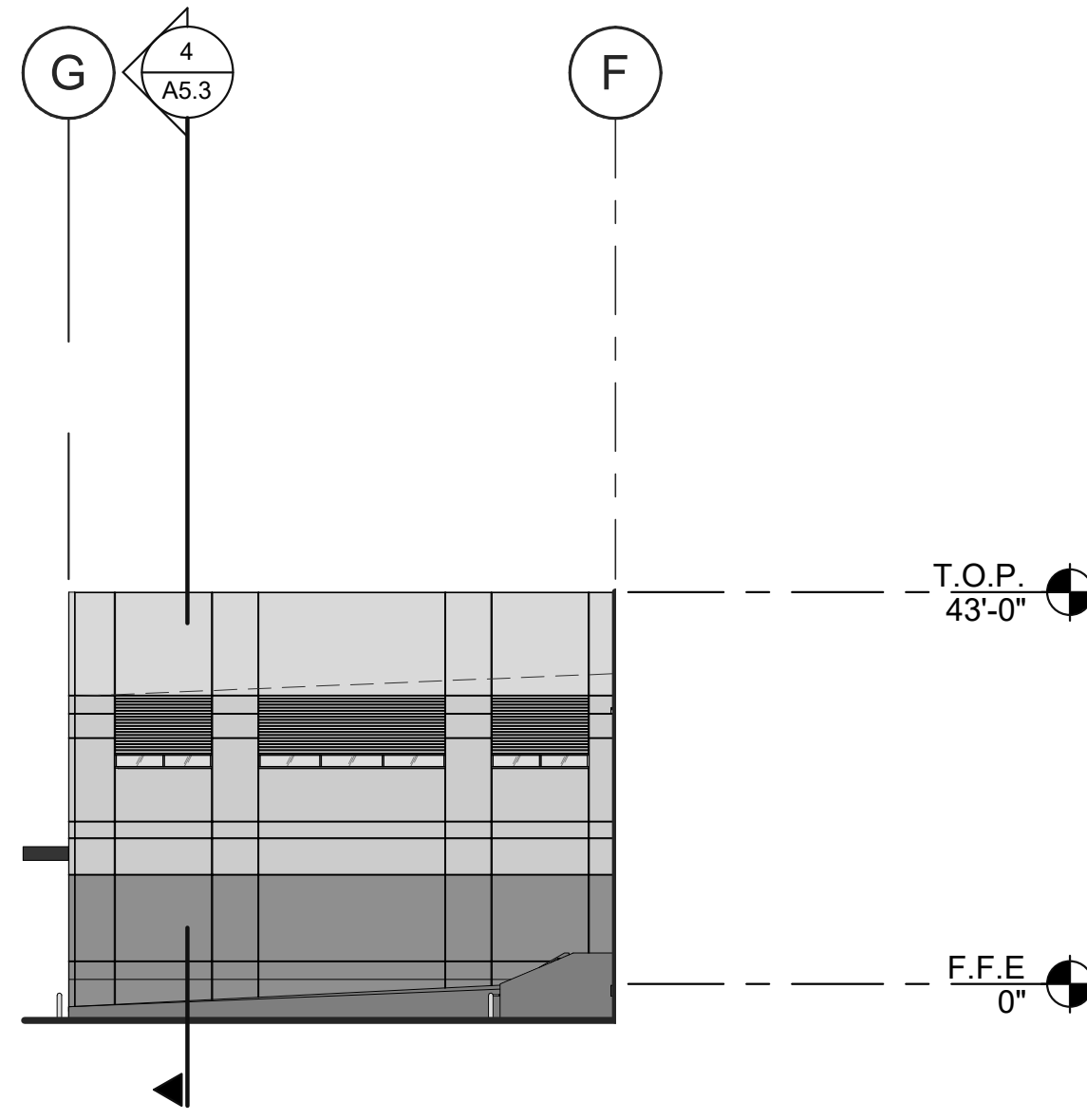
WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDING
INTERIORS
4665 Chabot Dr., Suite #200
Pittsburg, CA 94588
P: 925.244.9200

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

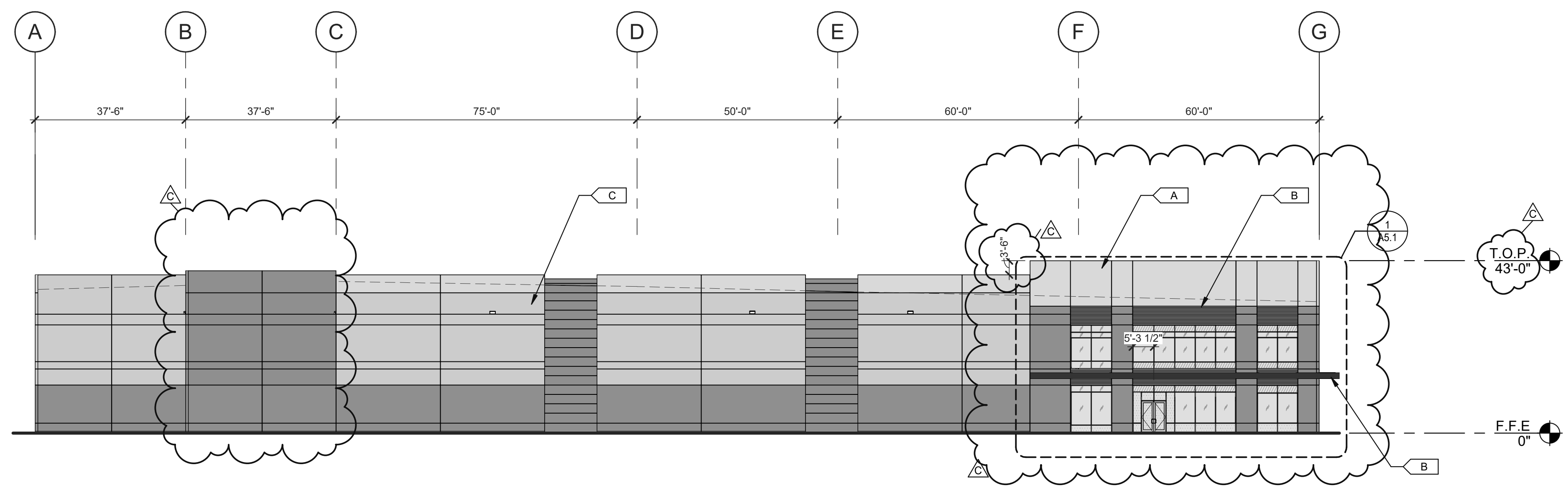
ROOF PLAN	
DATE	REMARKS
12/29/2021	SITE AND DESIGN REVIEW SUBMITTAL

PA/PM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

SHEET
A3.0



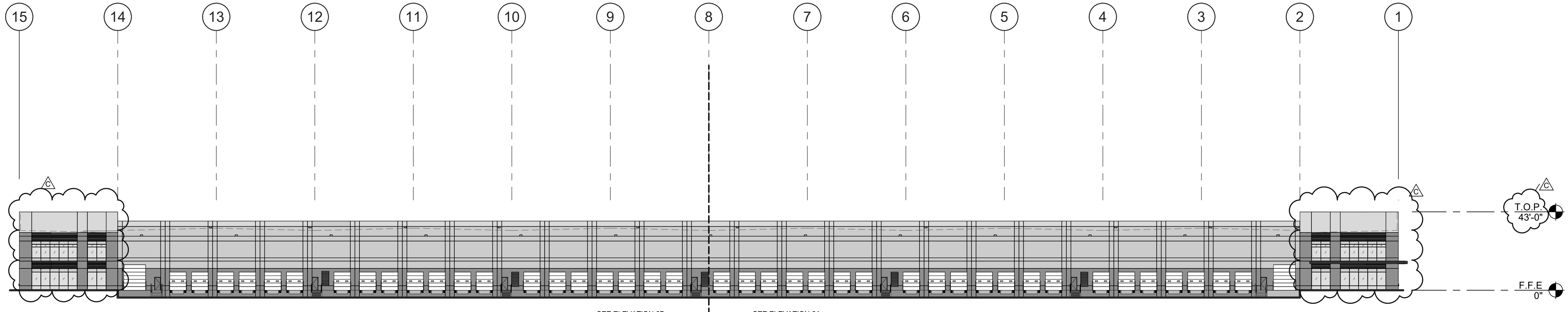
EAST EXTERIOR ELEVATION (5)
SCALE: 1" = 20'-0"



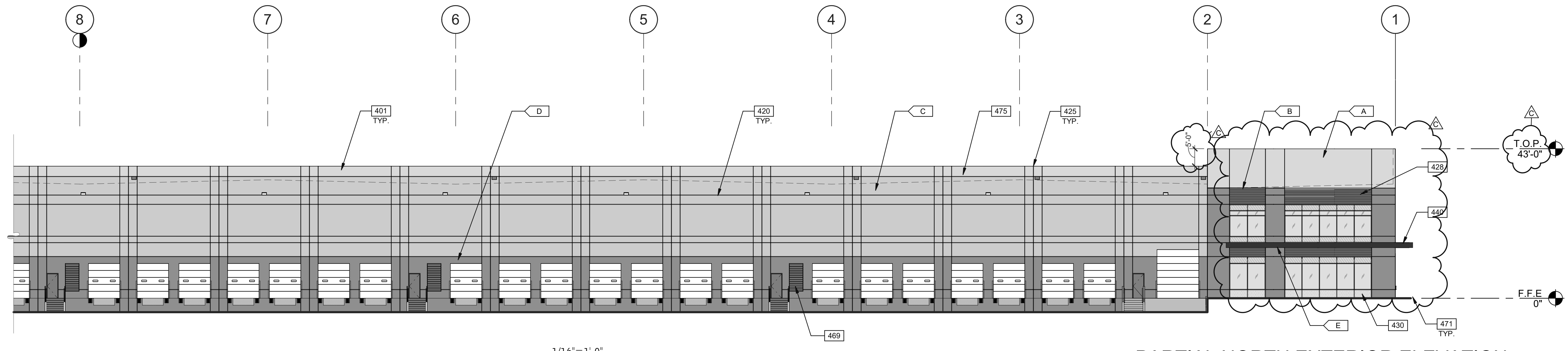
EAST EXTERIOR ELEVATION (1)
SCALE: 1" = 20'-0"

- KEYNOTES:**
- SEE SHEET A0.2 FOR GENERAL NOTES
- 401 CONCRETE WALL, PAINTED.
 - 420 3/4" V-REVEAL.
 - 425 CONCRETE WALL JOINT.
 - 428 CONCRETE FORM LINER.
 - 430 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 440 METAL CANOPY, PAINTED.
 - 469 METAL LOUVER, PAINTED TO MATCH ADJACENT WALL.
 - 471 FINISH GRADE VARIES.
 - 475 LINE OF ROOF BEYOND.

WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDS
INTERIORS
4663 Chubb Dr., Suite #200
Fresno, CA 93726
P: 503.244.9620
F: 503.244.9620



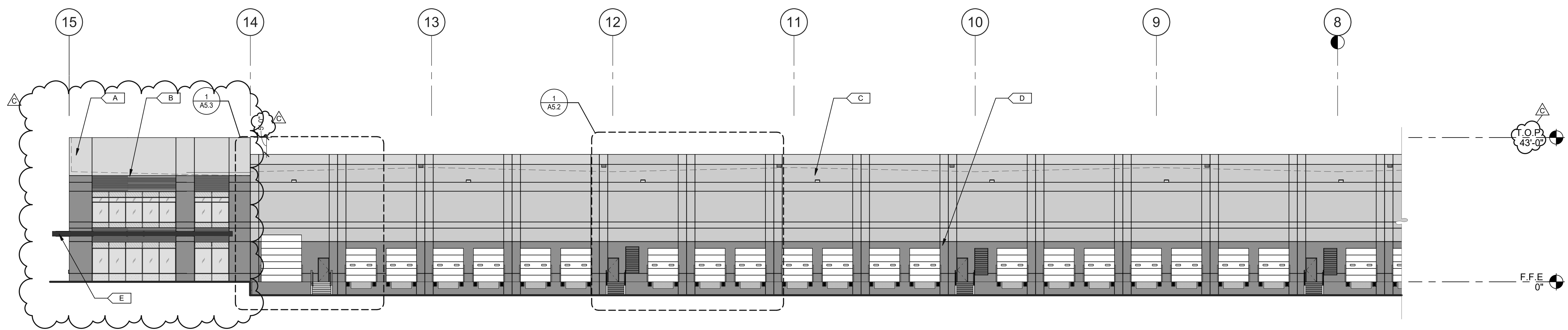
OVERALL NORTH EXTERIOR ELEVATION (2)
SCALE: 1" = 30'-0"



PARTIAL NORTH EXTERIOR ELEVATION (2A)
SCALE: 1/16" = 1'-0"

- LEGEND**
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS
- ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT
- COLORS:**
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER ARCHITECT REVIEW
- A BASE COLOR: SW-DET 617 WINTER MORN
 - B SECONDARY COLOR: SW-DET 617 WINTER MORN
 - C SECONDARY COLOR: SW-SW 7064 PASSIVE
 - D SECONDARY COLOR: SW-DET 612 STIEGLITZ SILVER
 - E ACCENT COLOR: SW-WESTCORE BLUE

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206



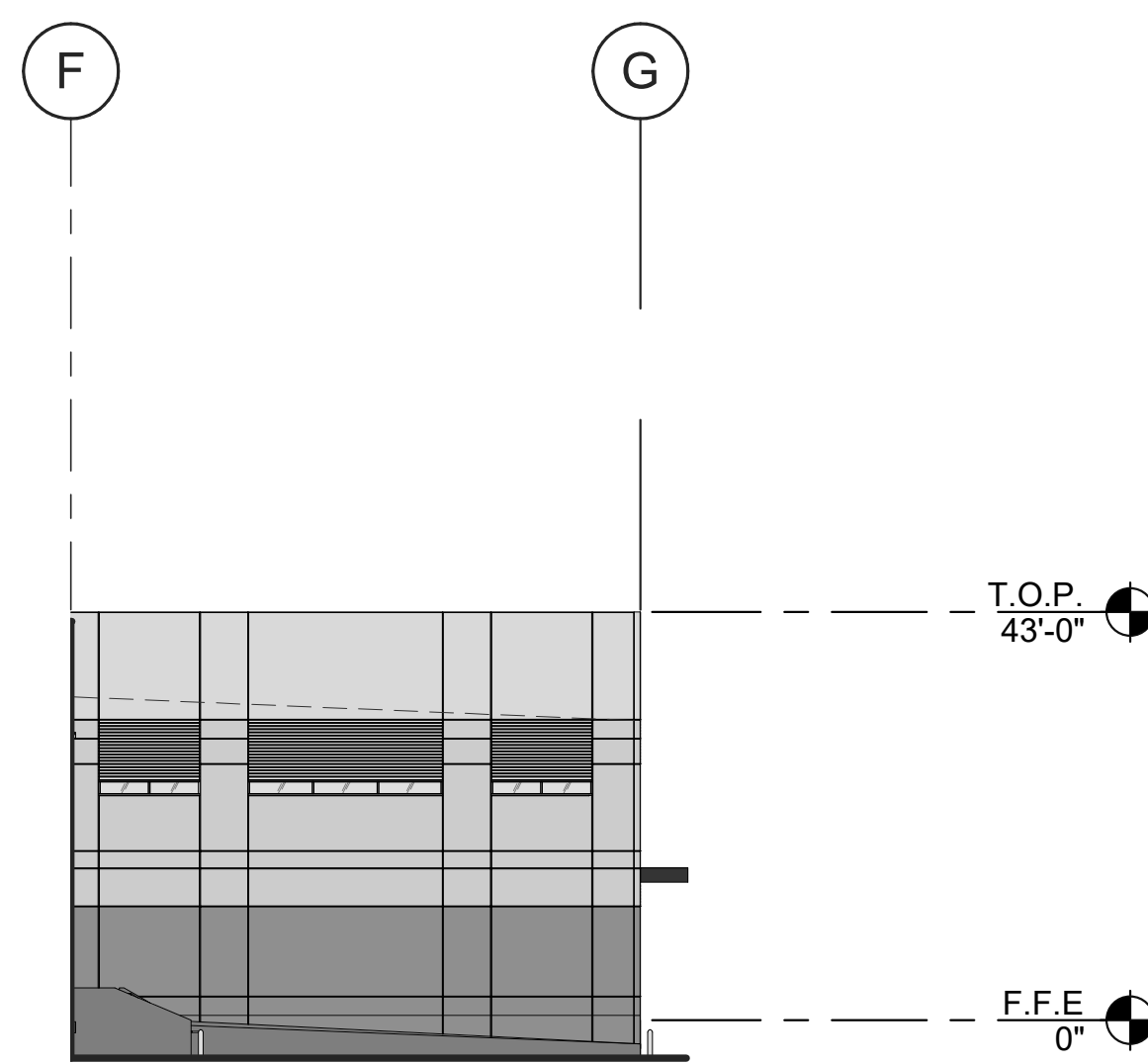
PARTIAL NORTH EXTERIOR ELEVATION (2B)
SCALE: 1/16" = 1'-0"

EXTERIOR ELEVATIONS

DATE	REMARKS
5/20/2021	SITE AND DESIGN REVIEW SUBMITTAL
5/26/2022	ADDENDUM C-CALTRANS/DR REVIEW COMMENTS RESPONSE
C	

PAPM: P. KING
DRAWN BY: M.I.E.S.
JOB NO.: SNR21-0017-00

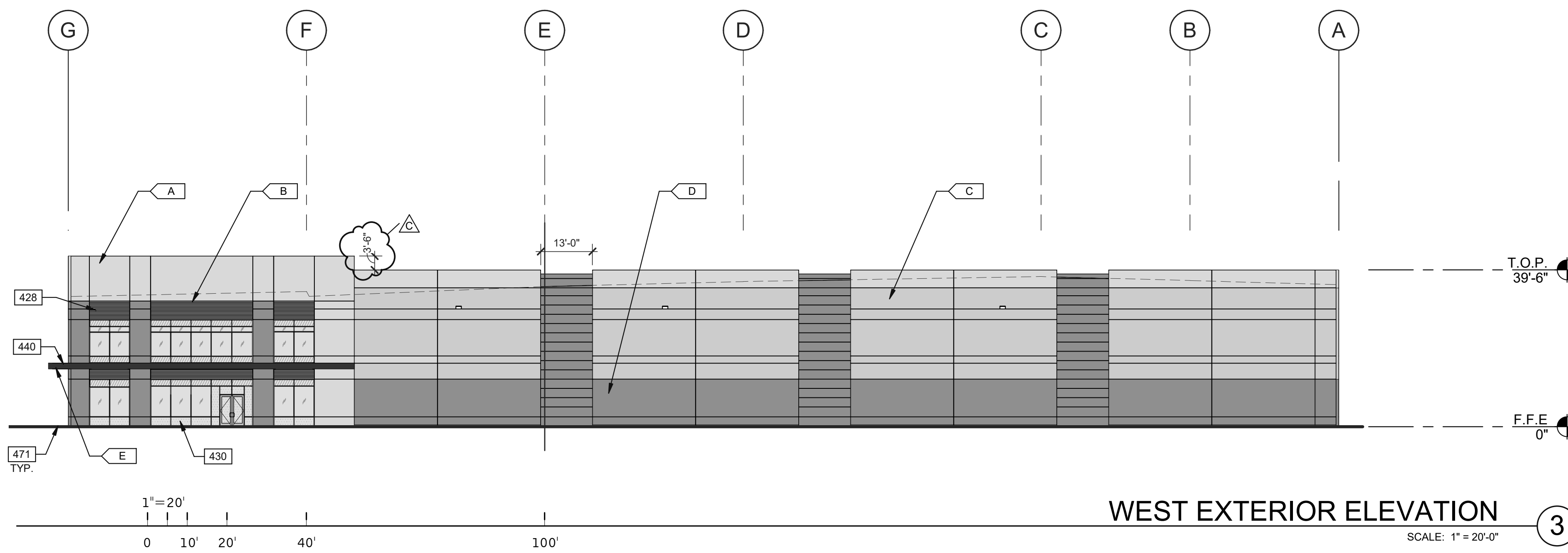
SHEET
A4.1
9/26/2022 11:43:03 AM



WEST EXTERIOR ELEVATION

SCALE: 1" = 20'-0"

6



WEST EXTERIOR ELEVATION

SCALE: 1" = 20'-0"

3

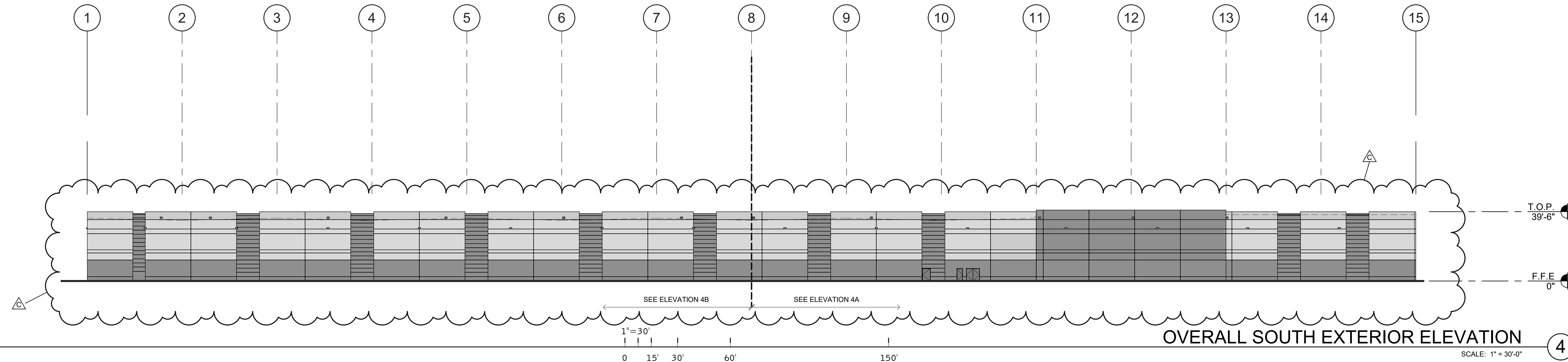
KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 420 3/4" V-REVEAL.
- 425 CONCRETE WALL JOINT.
- 428 CONCRETE FORM LINER.
- 430 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 440 METAL CANOPY, PAINTED.
- 471 FINISH GRADE VARIES.
- 475 LINE OF ROOF BEYOND.

WARE MALCOLM
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT

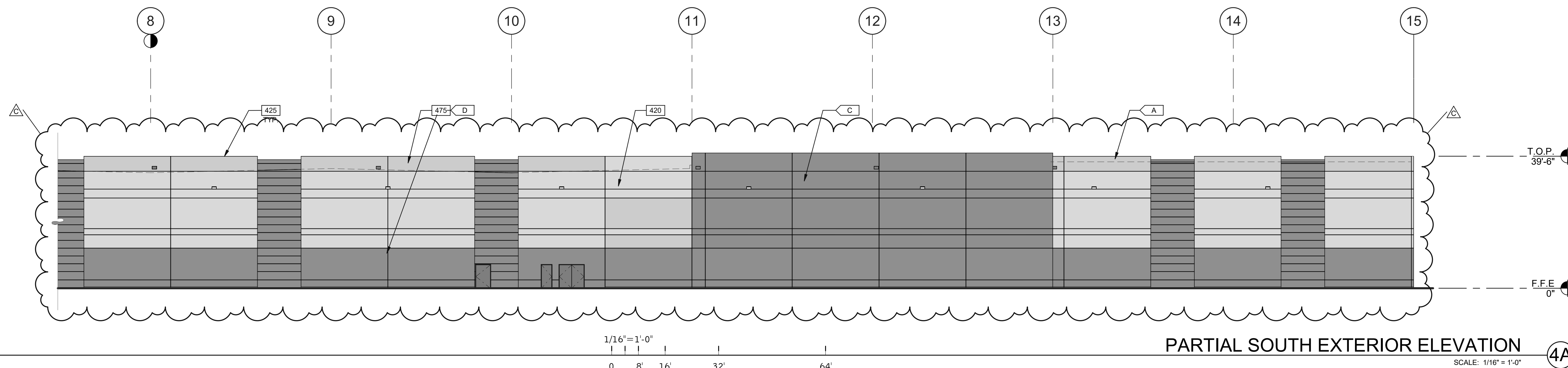
4655 Chabot Dr., Suite #200
 Fremont, CA 94538
 P: 925.244.9820
 F: 925.244.9820



OVERALL SOUTH EXTERIOR ELEVATION

SCALE: 1" = 30'-0"

4



PARTIAL SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

4A

LEGEND

- GLASS:
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
 XXXXXXX
 U FACTOR = 0.28 AND SHGC = 0.28
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:
 PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW

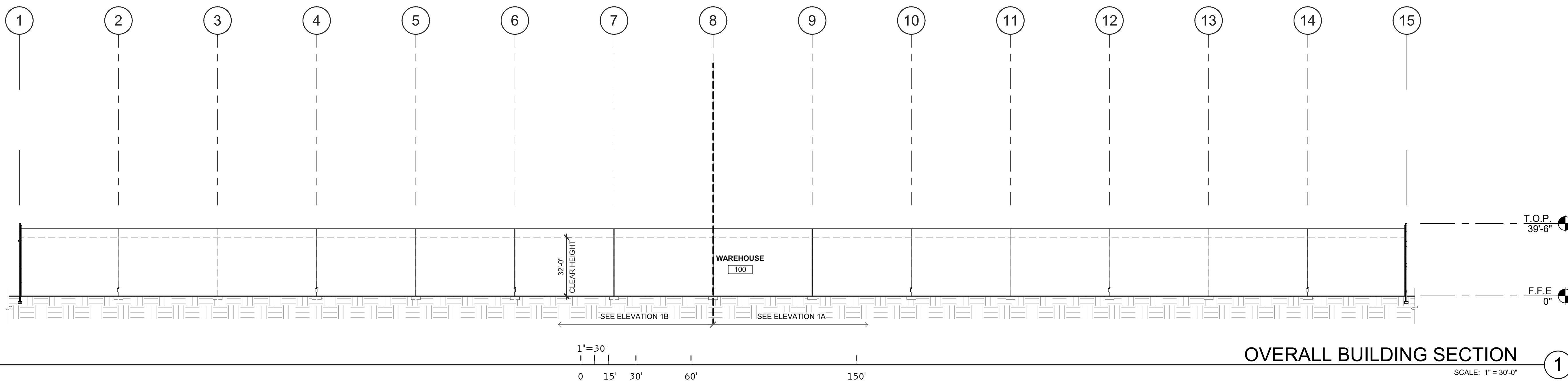
- BASE COLOR: SW-DET 617 WINTER MORN
- SECONDARY COLOR: SW-DET 617 WINTER MORN
- SECONDARY COLOR: SW-SW 7064 PASSIVE
- SECONDARY COLOR: SW-DET 612 STIEGLITZ SILVER
- ACCENT COLOR: SW-WESTCORE BLUE

WESTCORE INDUSTRIAL BUILDING
 1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

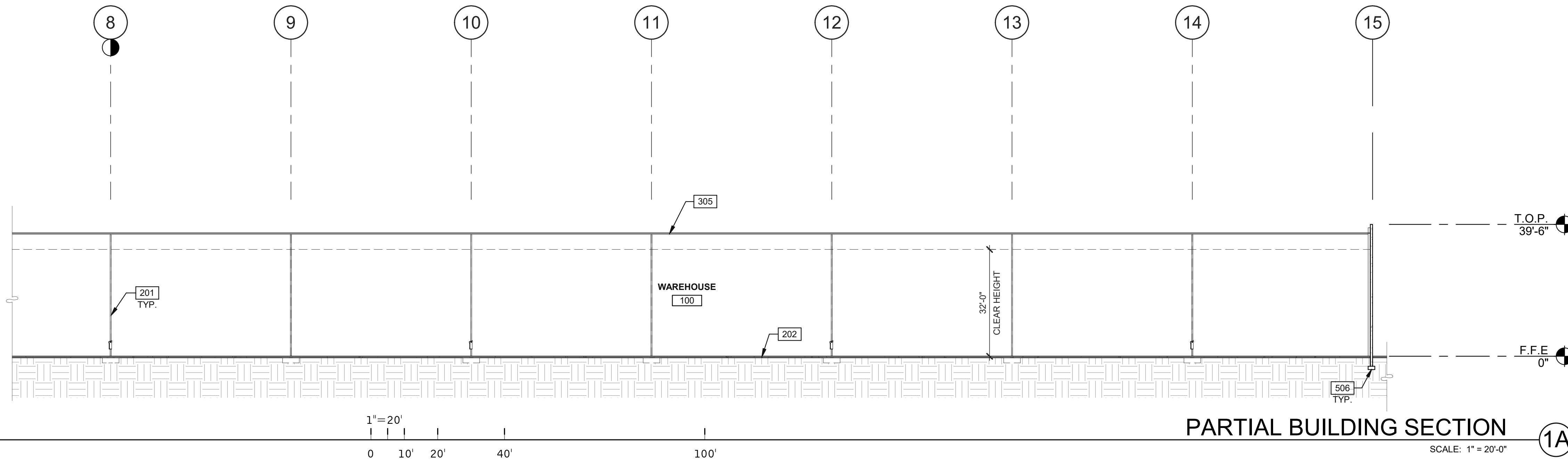
EXTERIOR ELEVATIONS	
DATE	REMARKS
5/20/2021	SITE AND DESIGN REVIEW SUBMITTAL
5/26/2022	ADDENDUM C-CALTRANS/DCR REVIEW COMMENTS RESPONSE
C	

PA/PM: P. KING
 DRAWN BY: M.I.E.S.
 JOB NO.: SNR21-0017-00

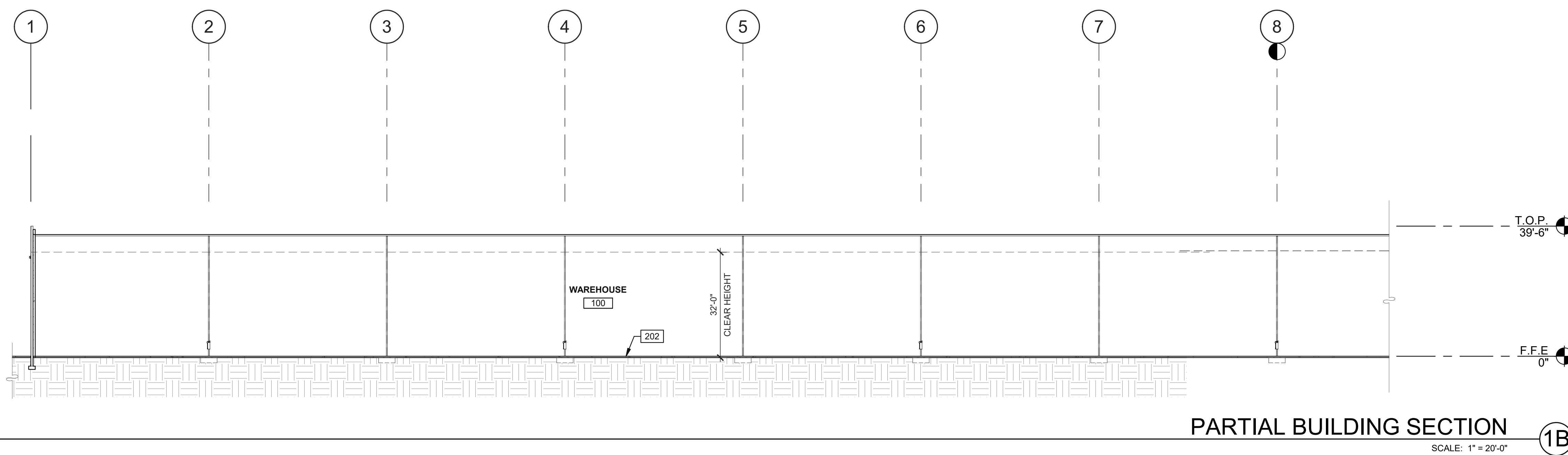
SHEET
A4.2



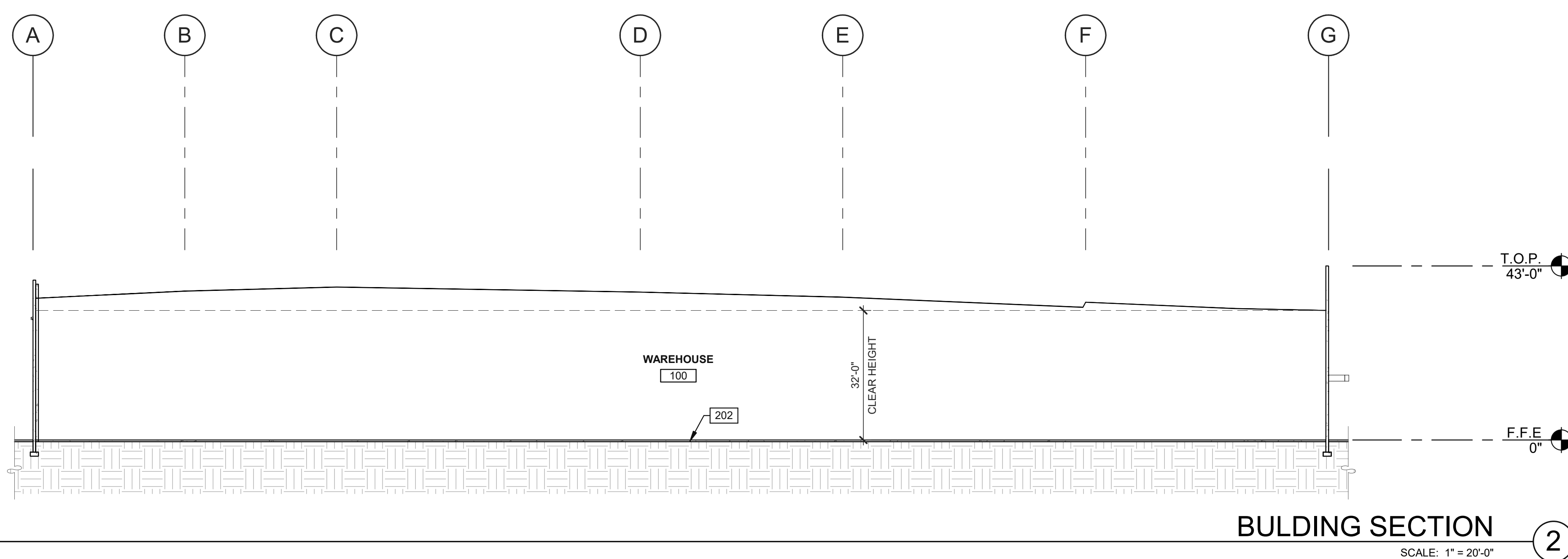
OVERALL BUILDING SECTION 1
SCALE: 1" = 30'-0"



PARTIAL BUILDING SECTION 1A
SCALE: 1" = 20'-0"



PARTIAL BUILDING SECTION 1B
SCALE: 1" = 20'-0"



BUILDING SECTION 2
SCALE: 1" = 20'-0"

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 305 SINGLE-PLY ROOFING OVER WOOD DECK.
- 506 CONCRETE FOOTING.

WALL LEGEND

- CONCRETE WALL
- FULL HEIGHT NON-RATED PARTITION
- 1HR FIRE-RESISTANCE RATED

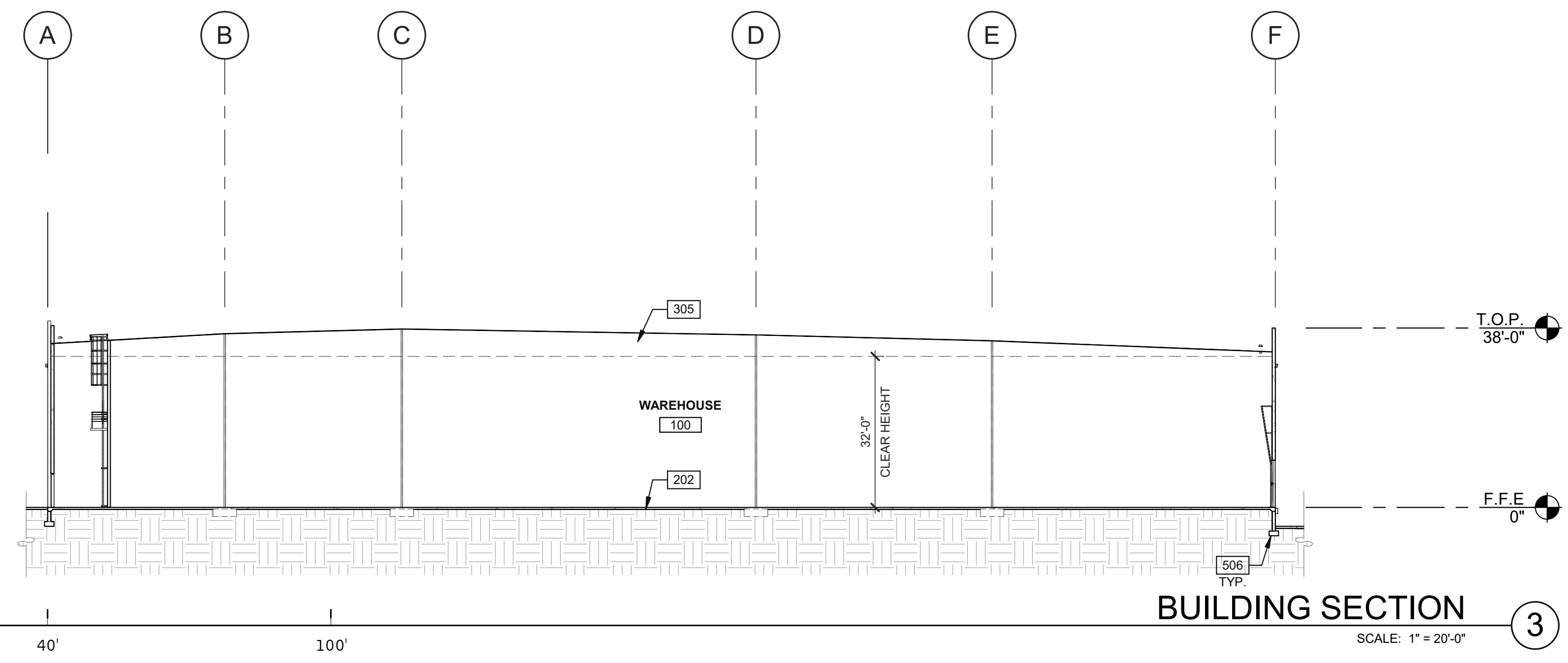
WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDING
INTERIORS
4665 CHERRY DR., SUITE #200
FRESNO, CALIFORNIA
93726-2448
P: 559.244.8200

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

BUILDING SECTIONS	
DATE	REMARKS
12/20/2021	SITE AND DESIGN REVIEW SUBMITTAL

PA/PM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

SHEET
A5.0



BUILDING SECTION 3
SCALE: 1" = 20'-0"

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 305 SINGLE-PLY ROOFING OVER WOOD DECK.
- 506 CONCRETE FOOTING.

WALL LEGEND

- CONCRETE WALL
- FULL HEIGHT NON-RATED PARTITION
- 1HR FIRE-RESISTANCE RATED

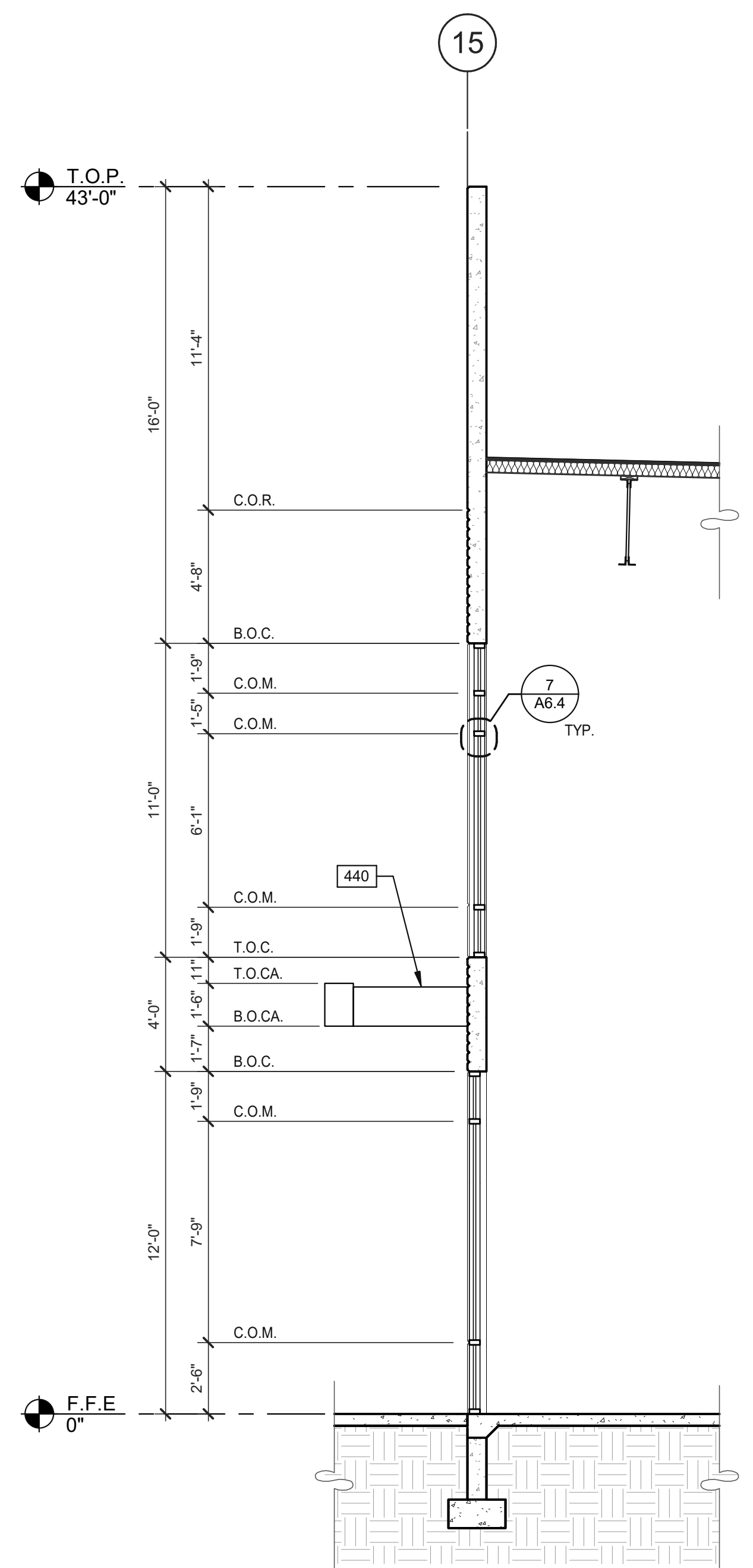
WARE MALCOLM
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING BUILDING MEASUREMENT
 4665 CHERRY DR. SUITE #200
 FRESNO, CA 93726
 P 503.244.8200

WESTCORE INDUSTRIAL BUILDING
 1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

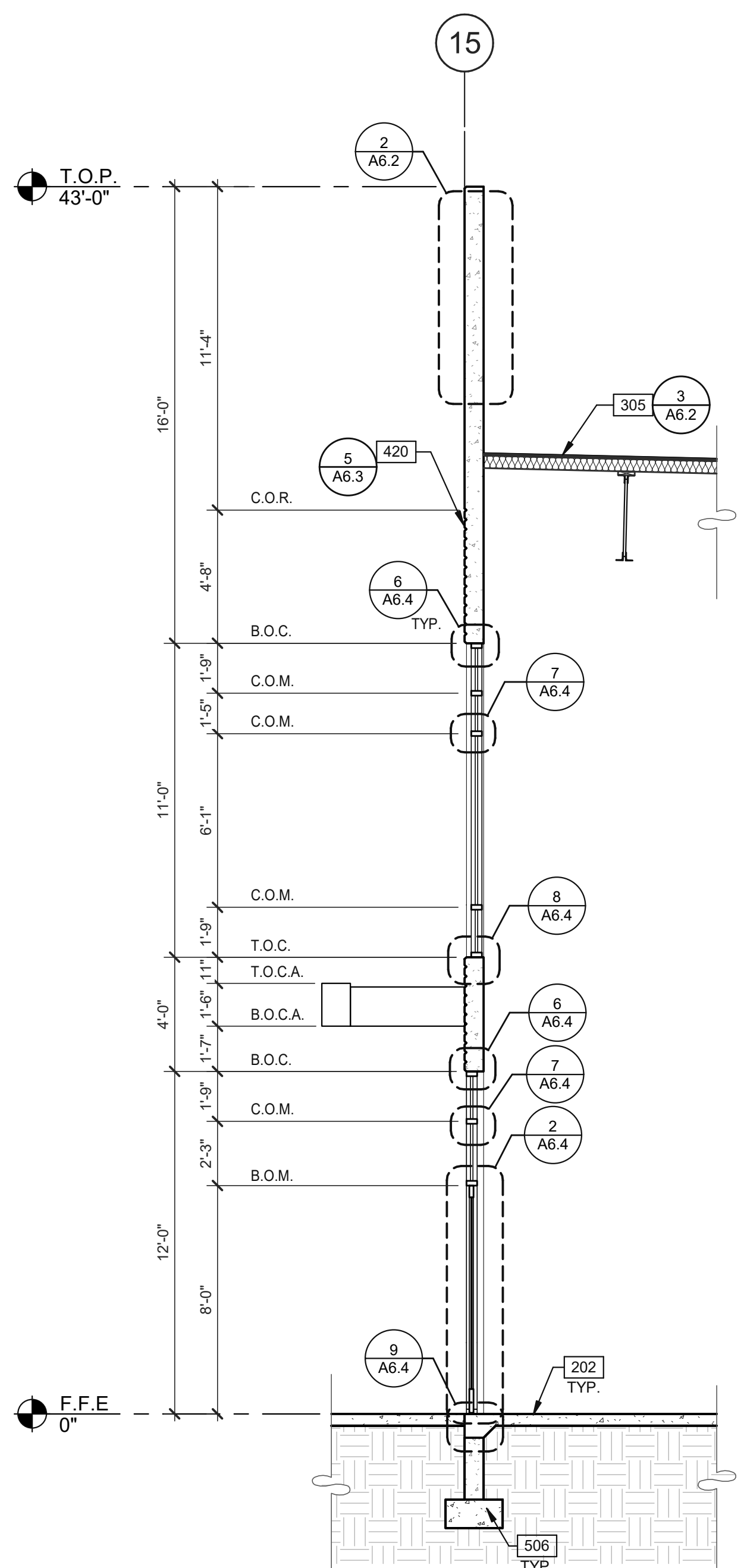
BUILDING SECTION	
DATE	REMARKS
12/29/2021	SITE AND DESIGN REVIEW SUBMITTAL

PA/PM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

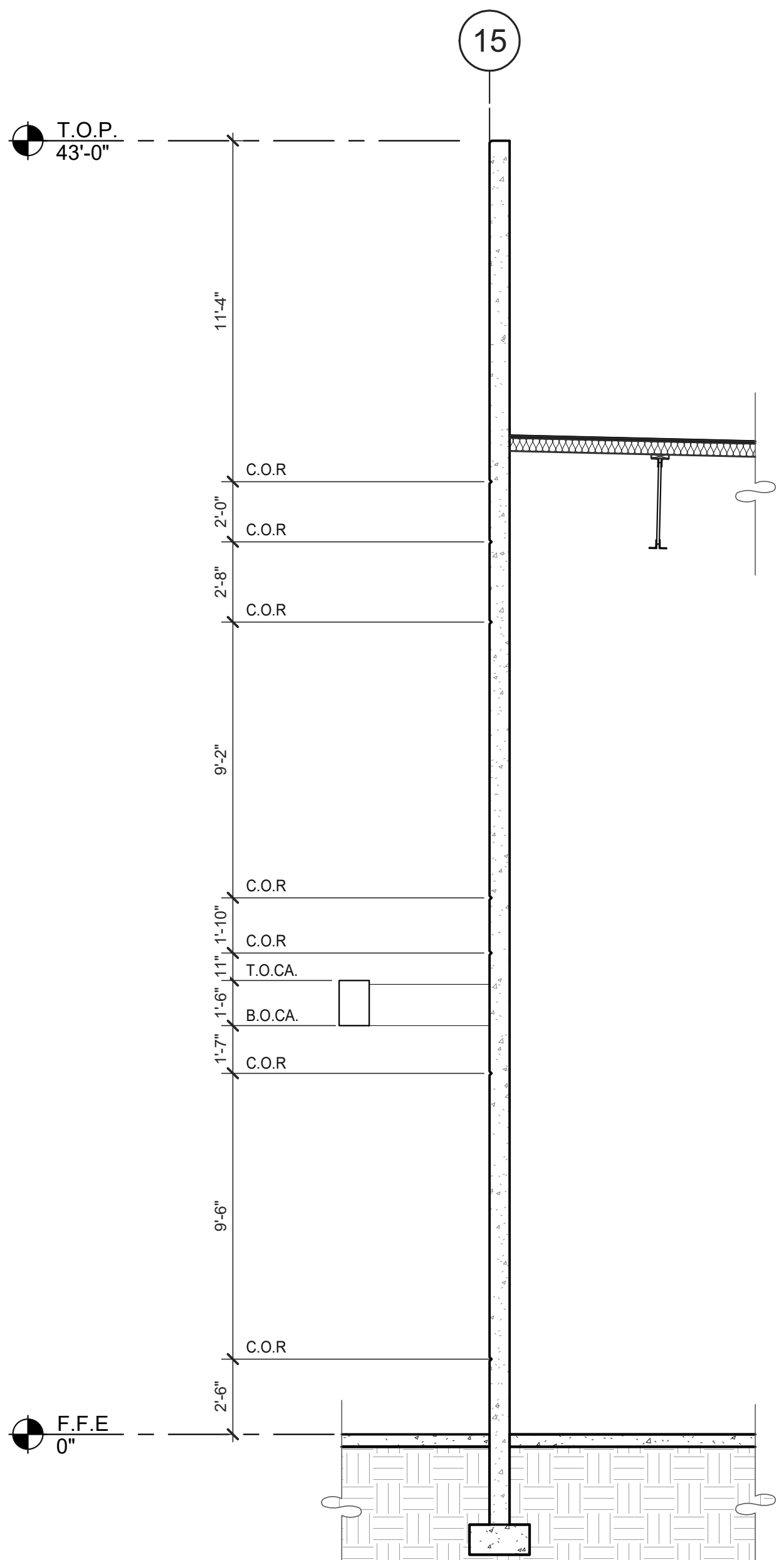
SHEET
A5.0a



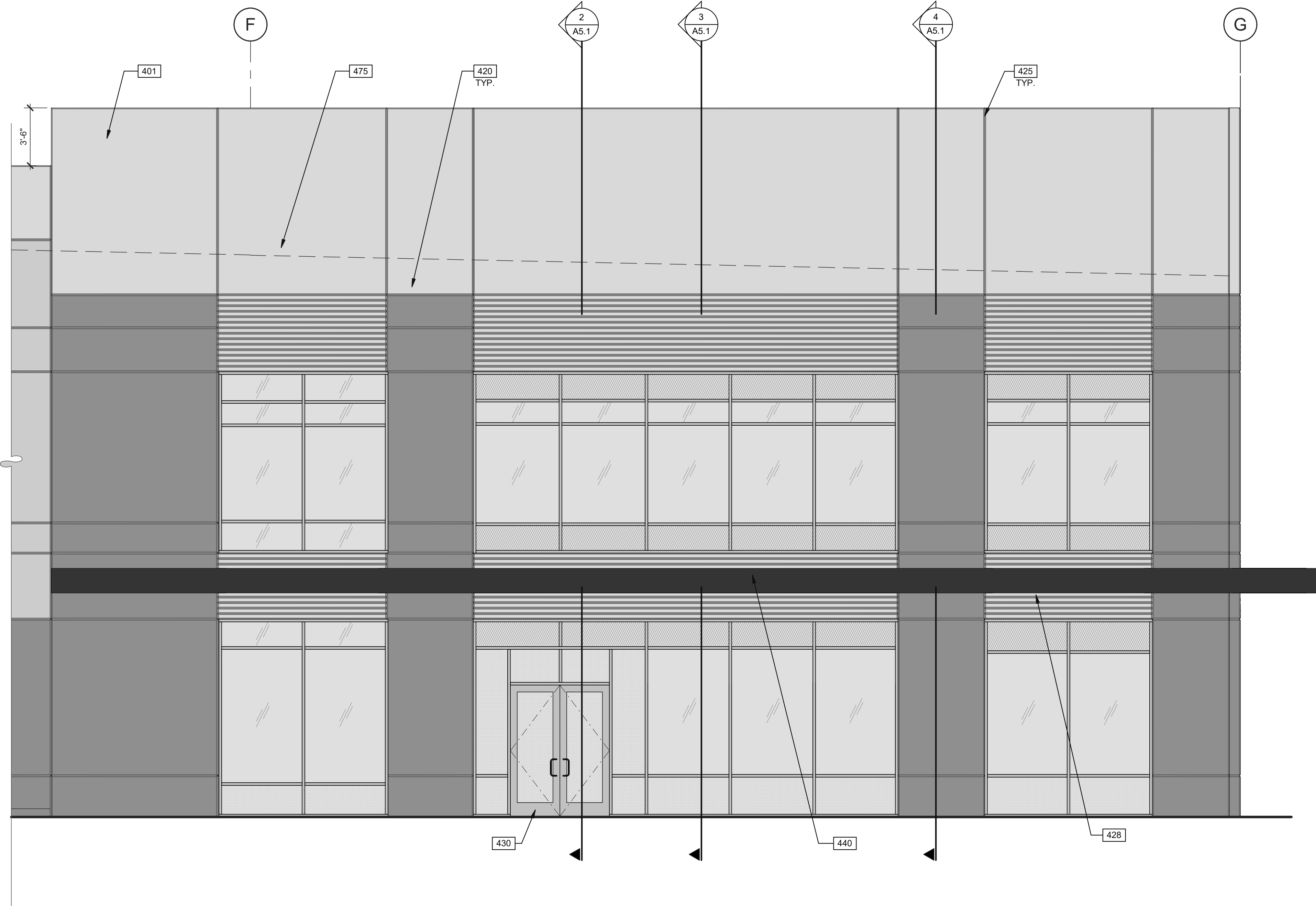
WALL SECTION ①
SCALE: 1/4" = 1'-0"



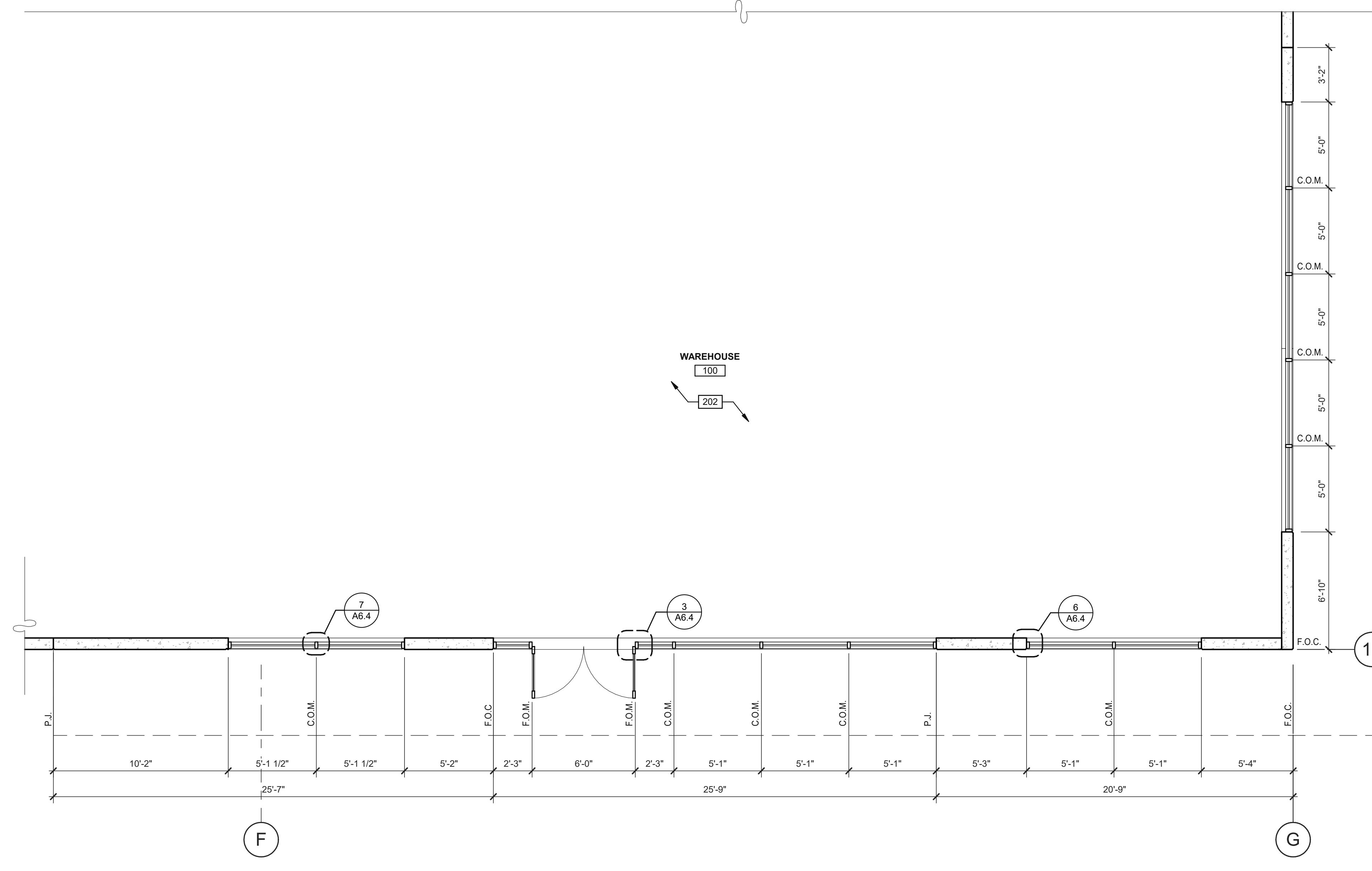
WALL SECTION ②
SCALE: 1/4" = 1'-0"



WALL SECTION ③
SCALE: 1/4" = 1'-0"



ENLARGED EXTERIOR ELEVATION ①
SCALE: 1/4" = 1'-0"



ENLARGED FLOOR PLAN ⑤
SCALE: 1/4" = 1'-0"

KEYNOTES: -
SEE SHEET A02 FOR GENERAL NOTES

- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 305 SINGLE-PLY ROOFING OVER WOOD DECK.
- 401 CONCRETE WALL, PAINTED.
- 420 3/4" V-REVEL.
- 425 CONCRETE WALL JOINT.
- 428 CONCRETE FORM LINER.
- 430 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 440 METAL CANOPY, PAINTED.
- 475 LINE OF ROOF BEYOND.
- 506 CONCRETE FOOTING.

WALL LEGEND

- CONCRETE WALL
- FULL HEIGHT NON-RATED PARTITION
- 1HR FIRE RESISTANCE RATED

LEGEND

- GLASS:**
- VISION GLASS
 - SPANDEL GLASS
 - TEMPERED GLASS

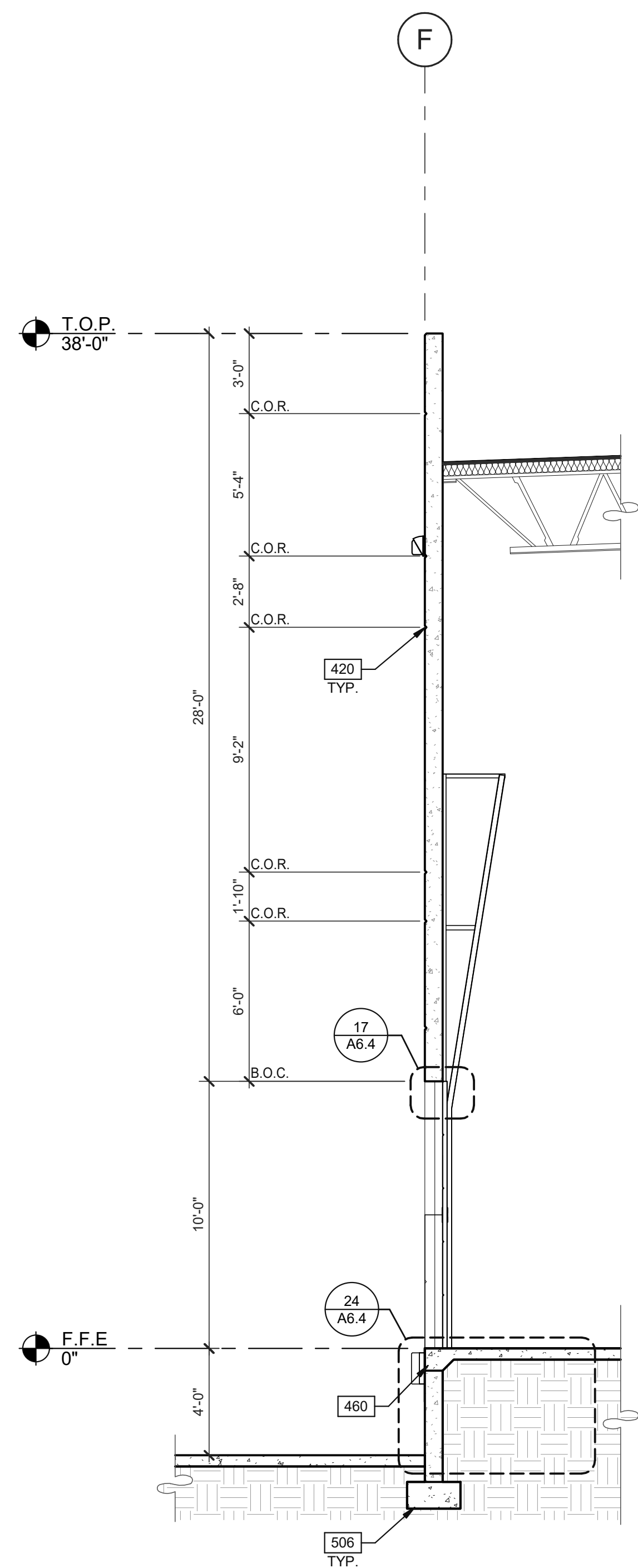
WARE MALCOLM
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDING
INTERIORS
4665 Chabot Dr., Suite #200
Fremont, CA 94538
P: 925.244.9820

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

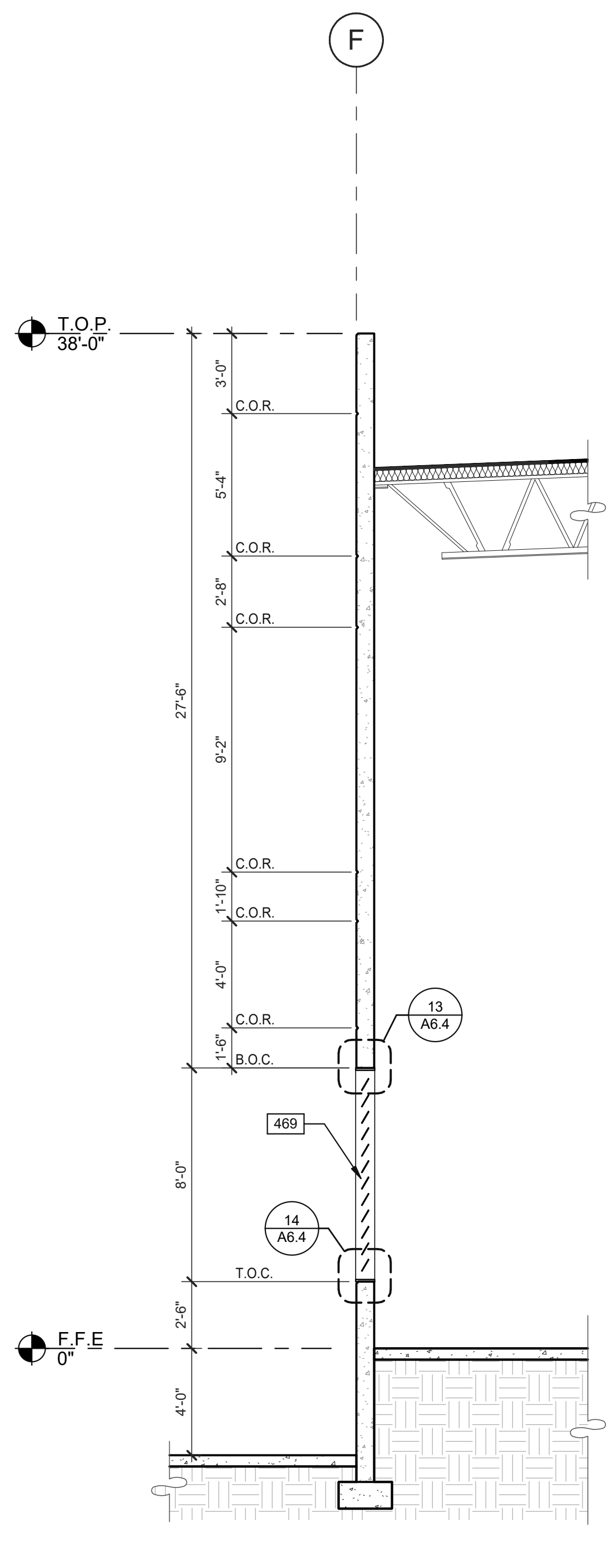
ENLARGED ELEVATION, PLAN AND WALL SECTIONS	
DATE	REMARKS
12/29/2021	SITE AND DESIGN REVIEW SUBMITTAL

P.A.P.M.:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

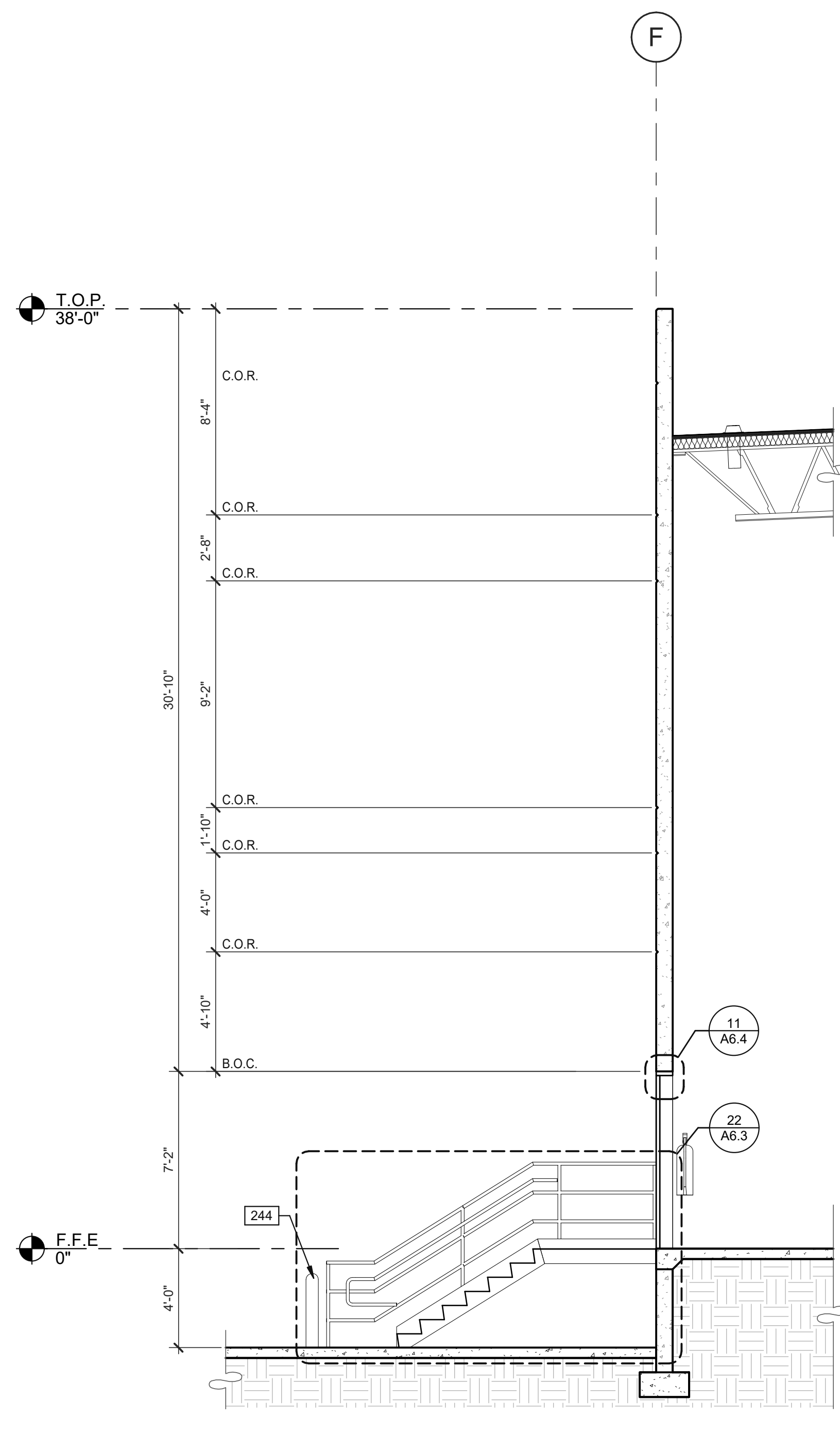
SHEET
A5.1



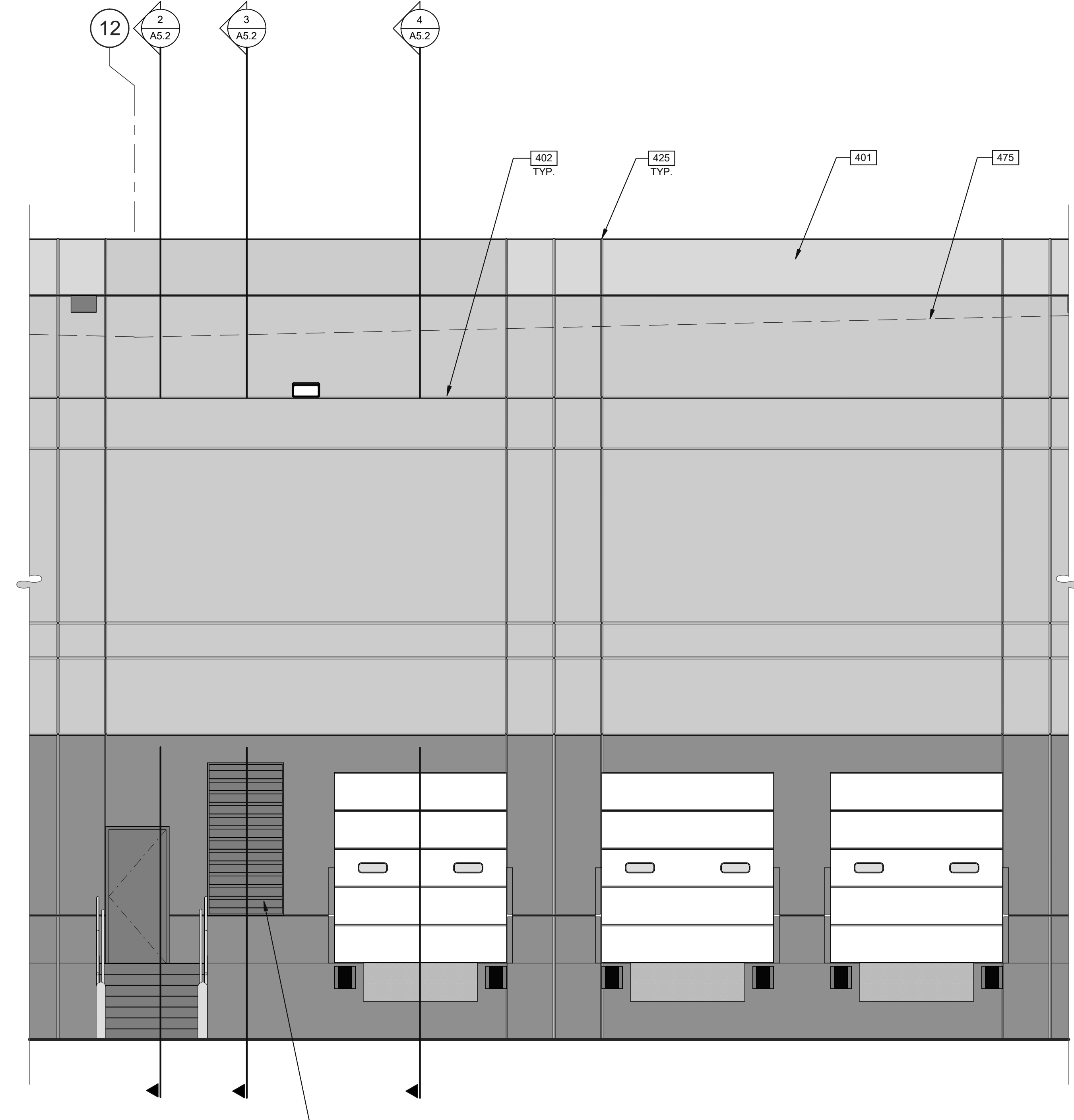
WALL SECTION 4
SCALE: 1/4" = 1'-0"



WALL SECTION 3
SCALE: 1/4" = 1'-0"



WALL SECTION 2
SCALE: 1/4" = 1'-0"



ENLARGED EXTERIOR ELEVATION 1
SCALE: 1/4" = 1'-0"

KEYNOTES:

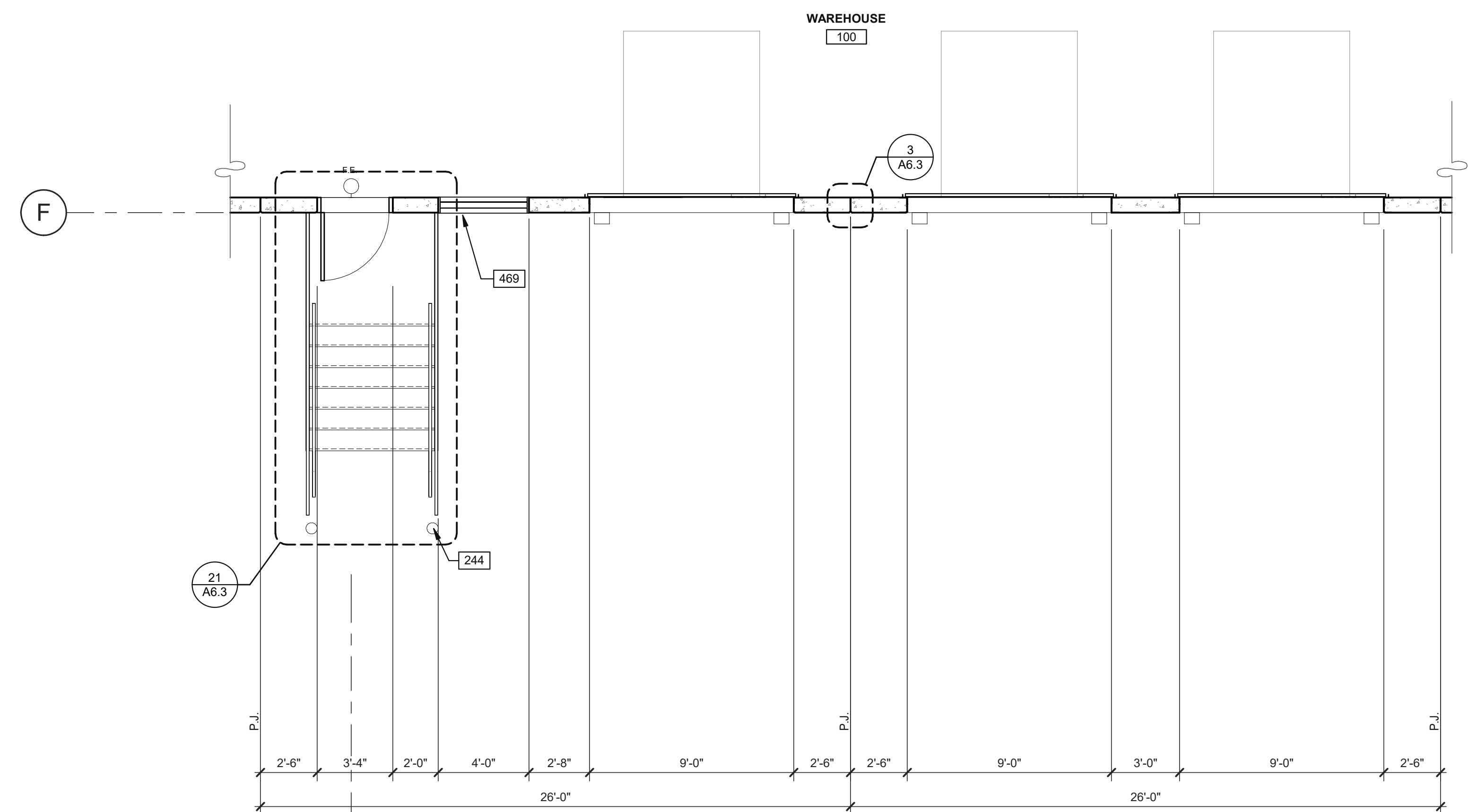
- 244 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 401 CONCRETE WALL, PAINTED.
- 402 PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD FRAMING.
- 420 3/4" V-REVEAL.
- 425 CONCRETE WALL JOINT.
- 460 DOCK BUMPER.
- 469 METAL LOUVER, PAINTED TO MATCH ADJACENT WALL.
- 475 LINE OF ROOF BEYOND.
- 506 CONCRETE FOOTING.

WALL LEGEND

- CONCRETE WALL
- FULL HEIGHT NON-RATED PARTITION
- 1HR FIRE RESISTANCE RATED

LEGEND

- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS



1/4" = 1'-0"
0 2' 4' 8' 16'

ENLARGED FLOOR PLAN 5
SCALE: 1/4" = 1'-0"

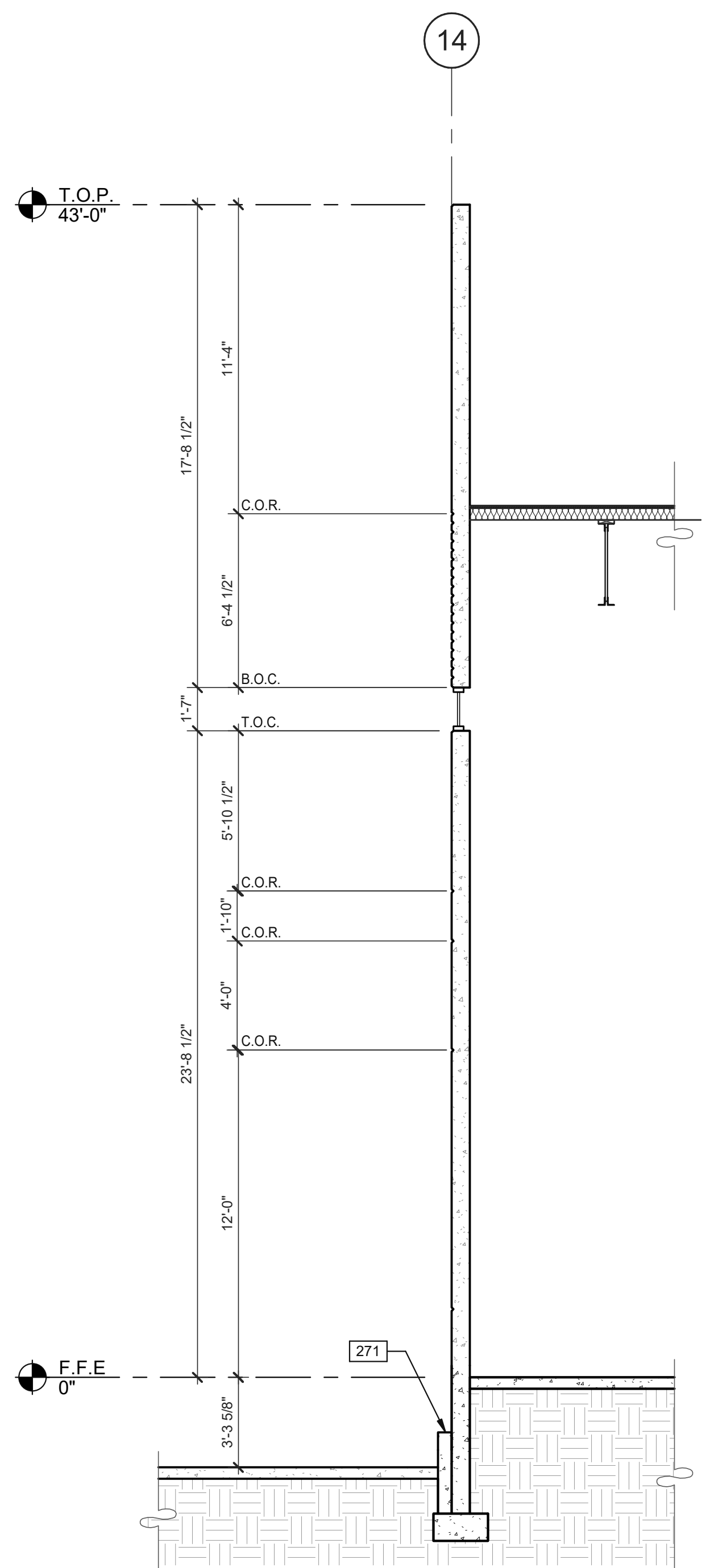
WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDING
INTERIORS
4655 Chubb Dr., Suite #200
Fresno, CA 93726
P: 503.244.9200

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

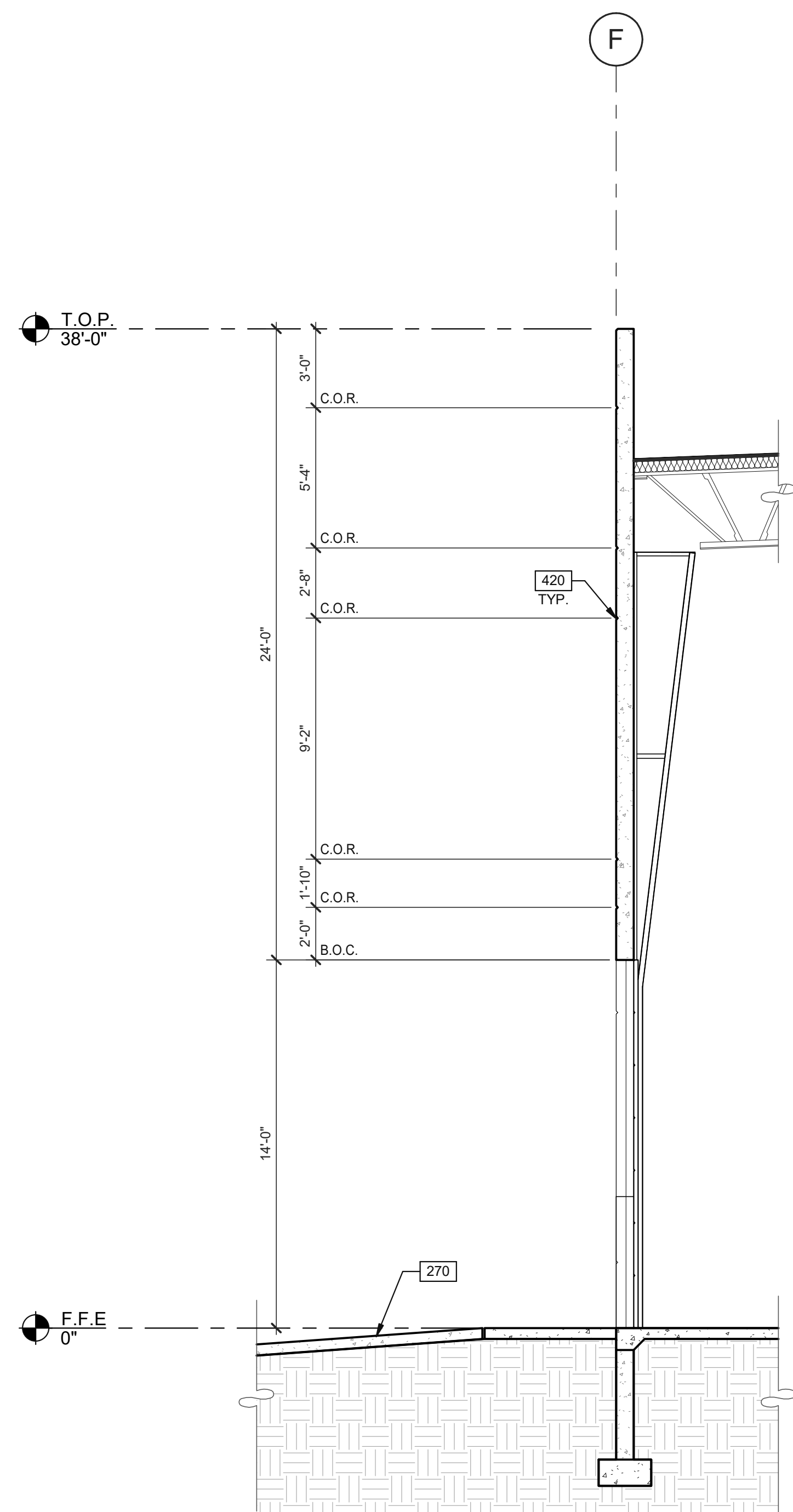
ENLARGED ELEVATION, PLAN AND WALL SECTIONS	
DATE	REMARKS
12/29/2021	SITE AND DESIGN REVIEW SUBMITTAL

PA/PM: P. KING
DRAWN BY: M.I.E.S.
JOB NO.: SNR21-0017-00

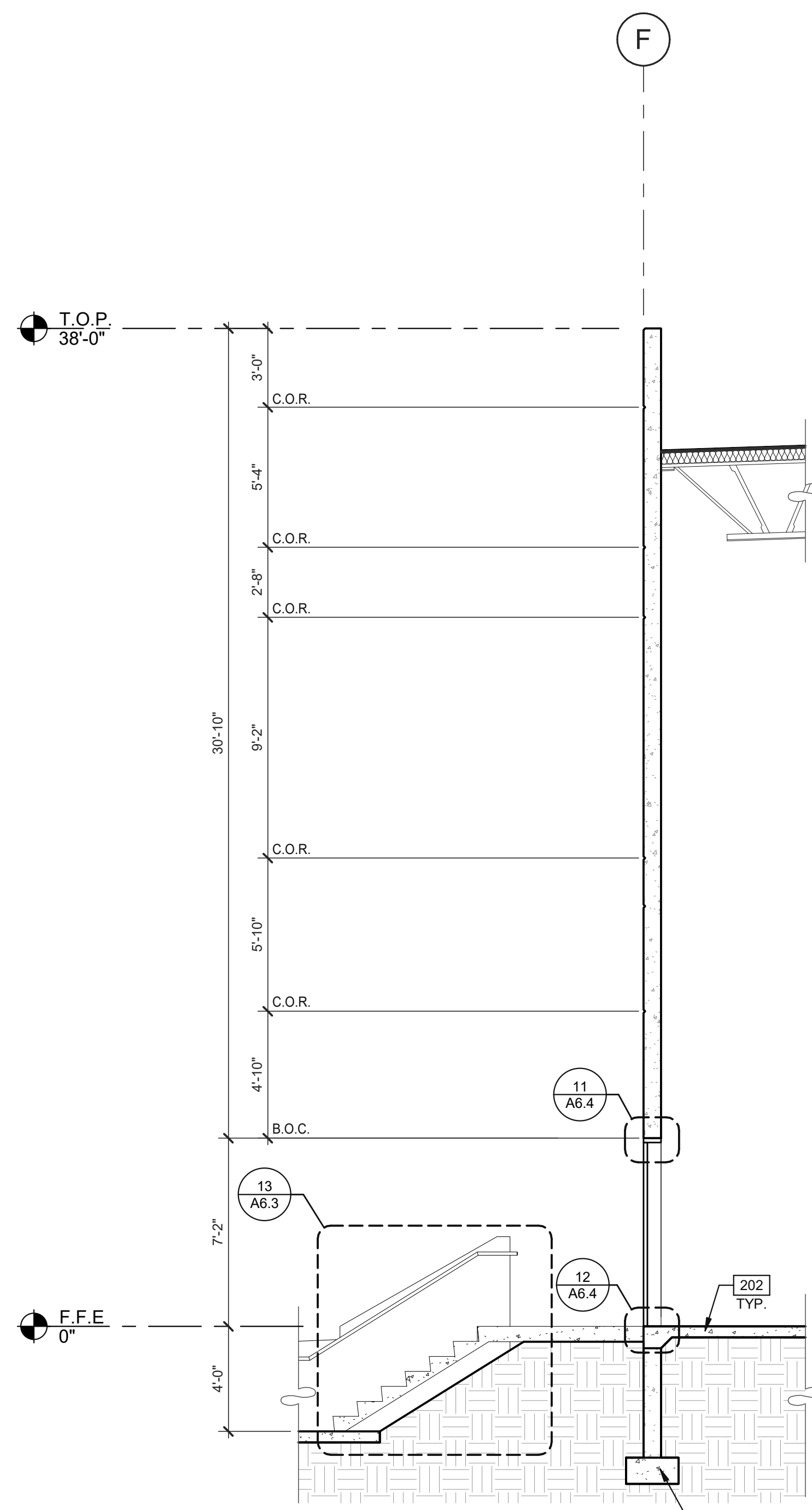
SHEET
A5.2



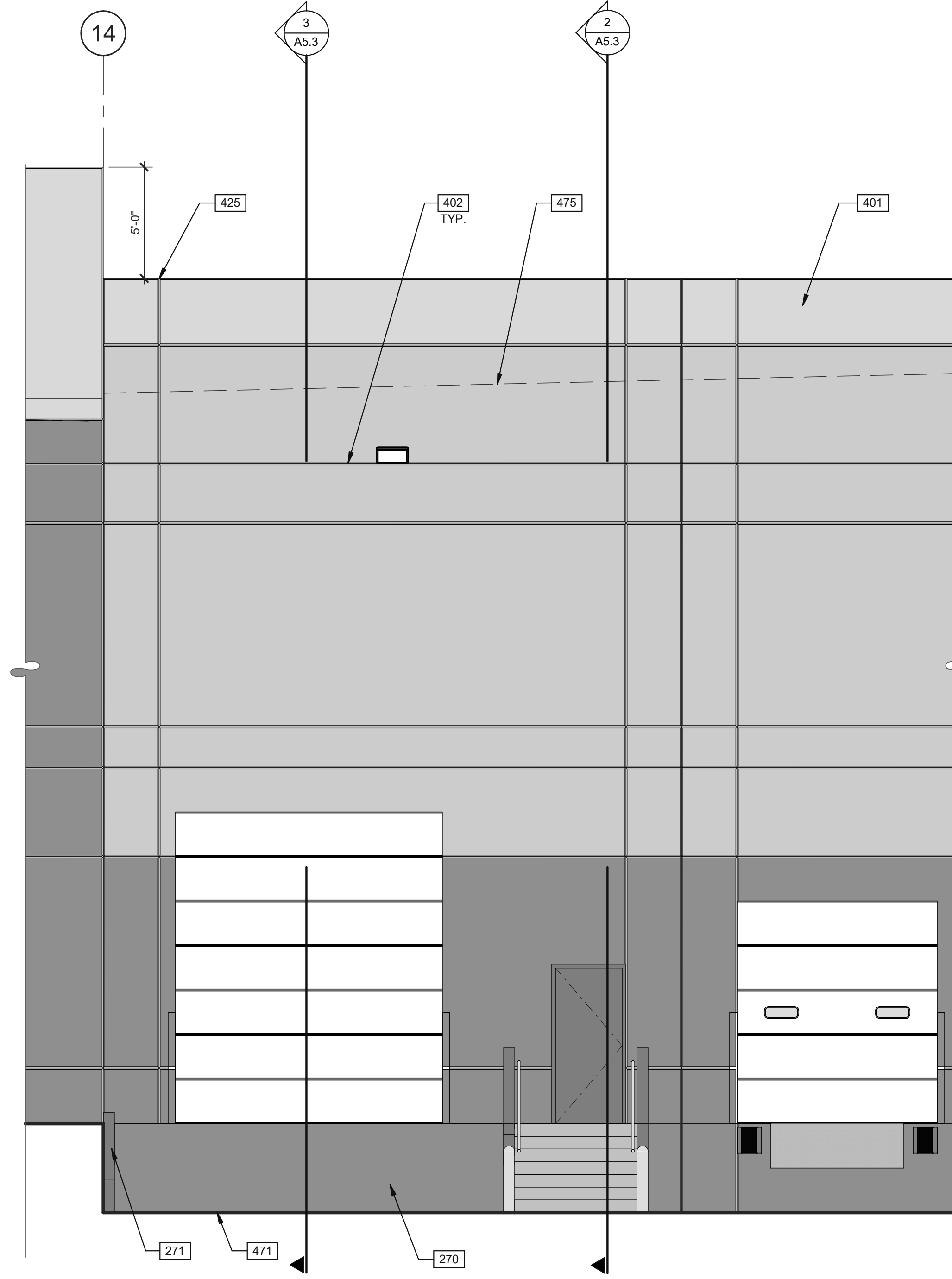
WALL SECTION 4
SCALE: 1/4" = 1'-0"



WALL SECTION 3
SCALE: 1/4" = 1'-0"



WALL SECTION 2
SCALE: 1/4" = 1'-0"



ENLARGED EXTERIOR ELEVATION 1
SCALE: 1/4" = 1'-0"

KEYNOTES:

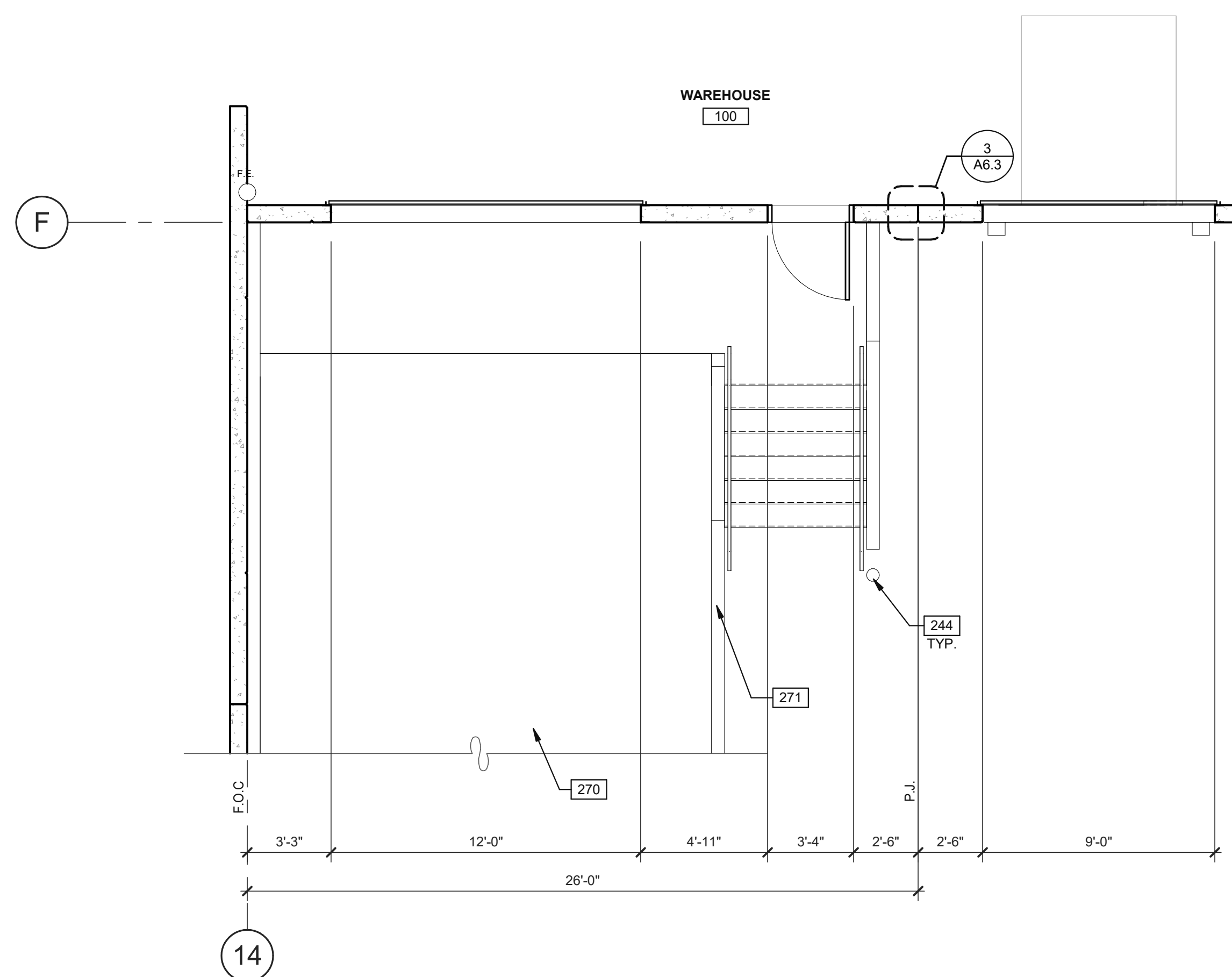
- SEE SHEET A0.2 FOR GENERAL NOTES
- 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 244 STEEL BOLLARD. CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 270 CONCRETE RAMPS.
- 271 CONCRETE RETAINING WALL.
- 401 CONCRETE WALL, PAINTED.
- 402 PRE-FINISHED ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD FRAMING.
- 420 3/4" V-REVEAL.
- 425 CONCRETE WALL JOINT.
- 471 FINISH GRADE VARIES.
- 475 LINE OF ROOF BEYOND.
- 506 CONCRETE FOOTING.

WALL LEGEND

- CONCRETE WALL
- FULL HEIGHT NON-RATED PARTITION
- 1HR FIRE RESISTANCE RATED

LEGEND

- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS



ENLARGED FLOOR PLAN 5
SCALE: 1/4" = 1'-0"

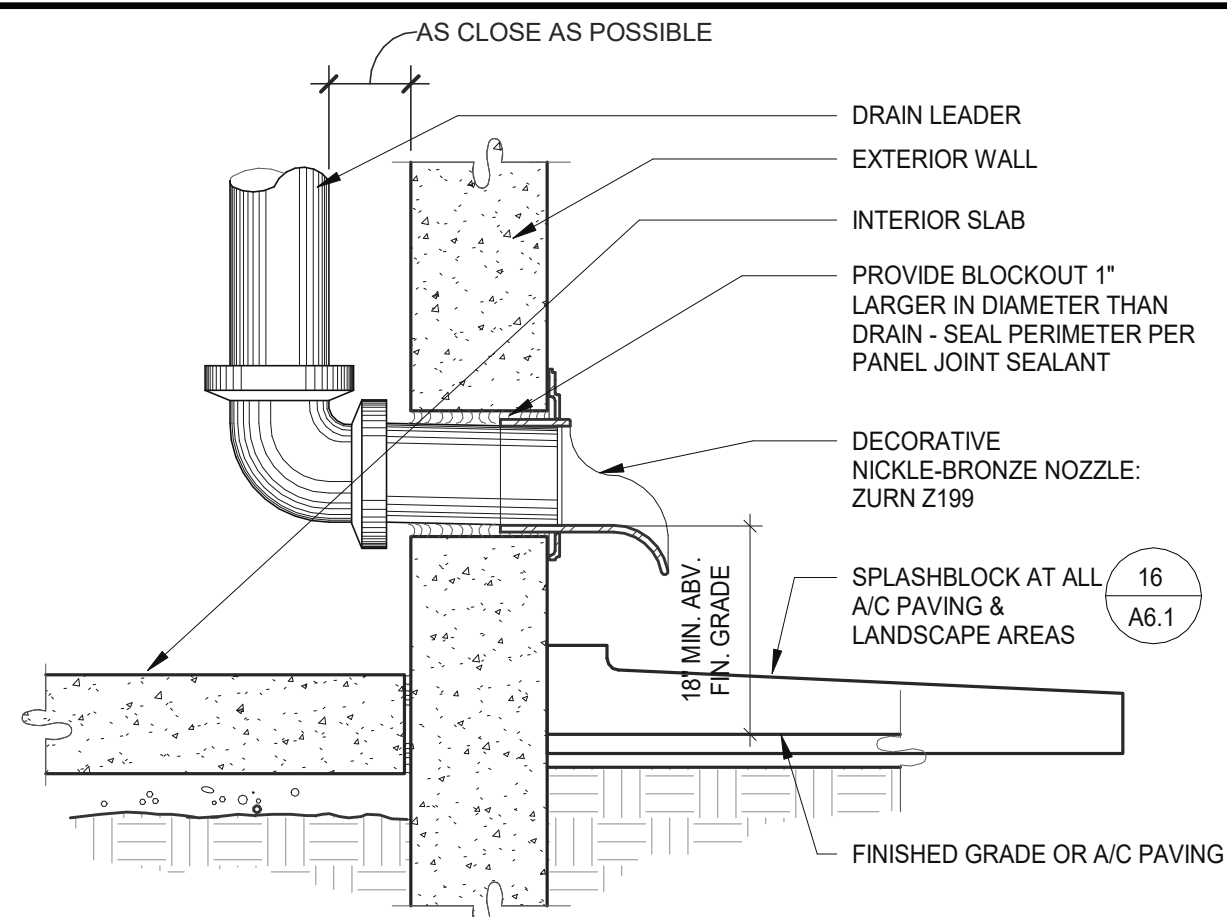
WARE MALCOMB
ARCHITECTURE
PLANNING
BRANDING
INTERIORS
4655 Chabot Dr., Suite #200
Fremont, CA 94538
P: 925.244.9200

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

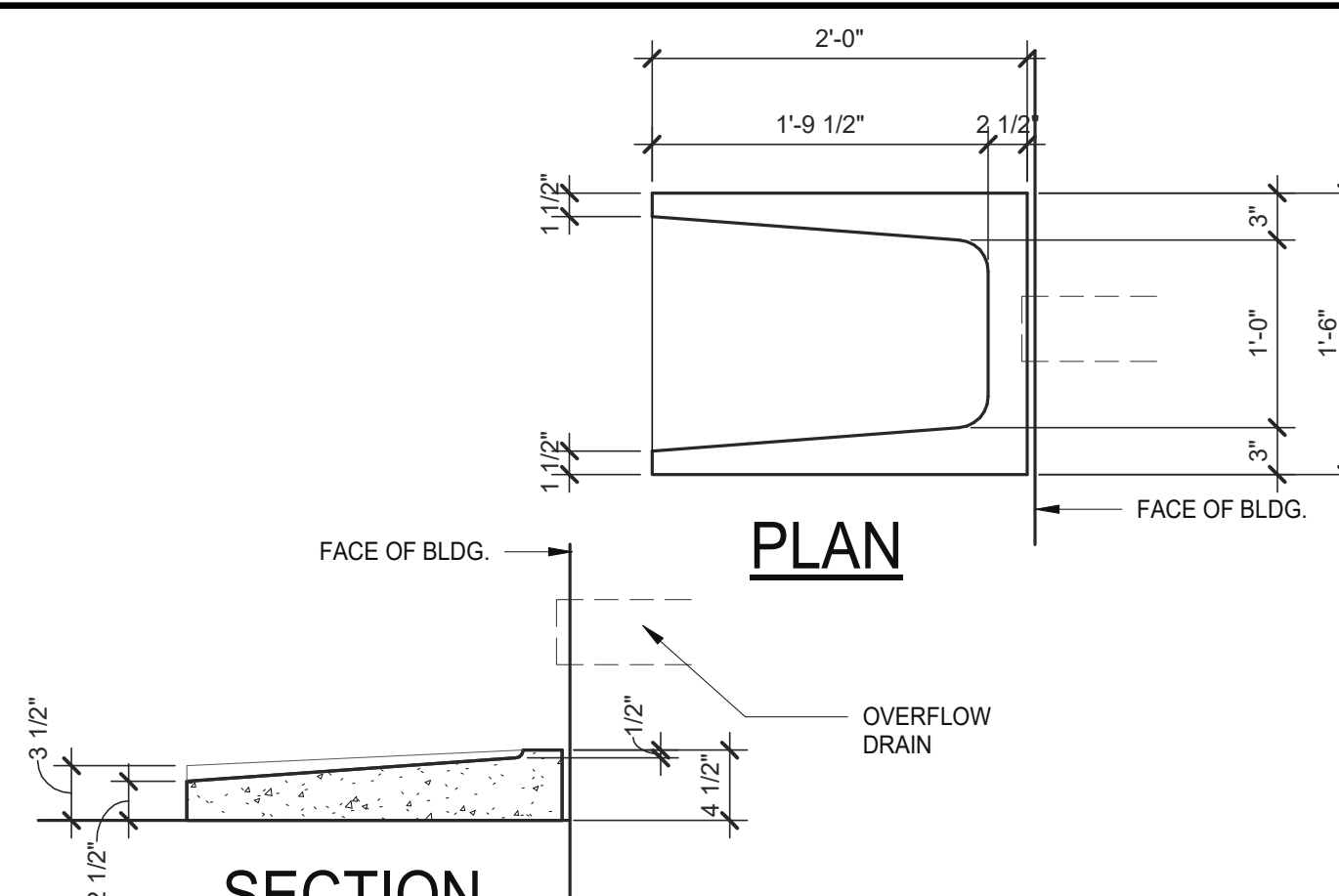
ENLARGED ELEVATION, PLAN AND WALL SECTIONS	
DATE	REMARKS
12/29/2021	SITE AND DESIGN REVIEW SUBMITTAL

PA/PM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

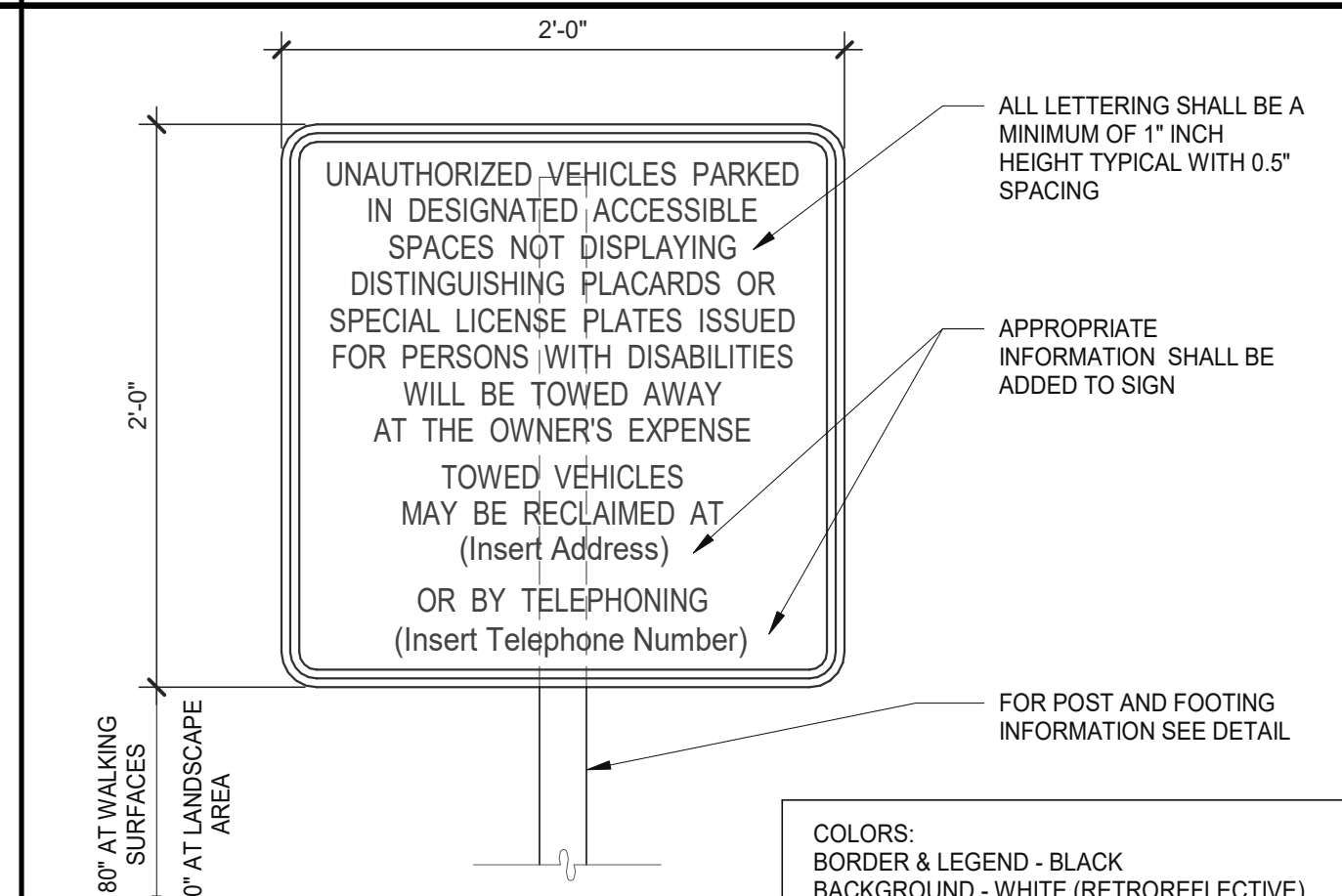
SHEET
A5.3



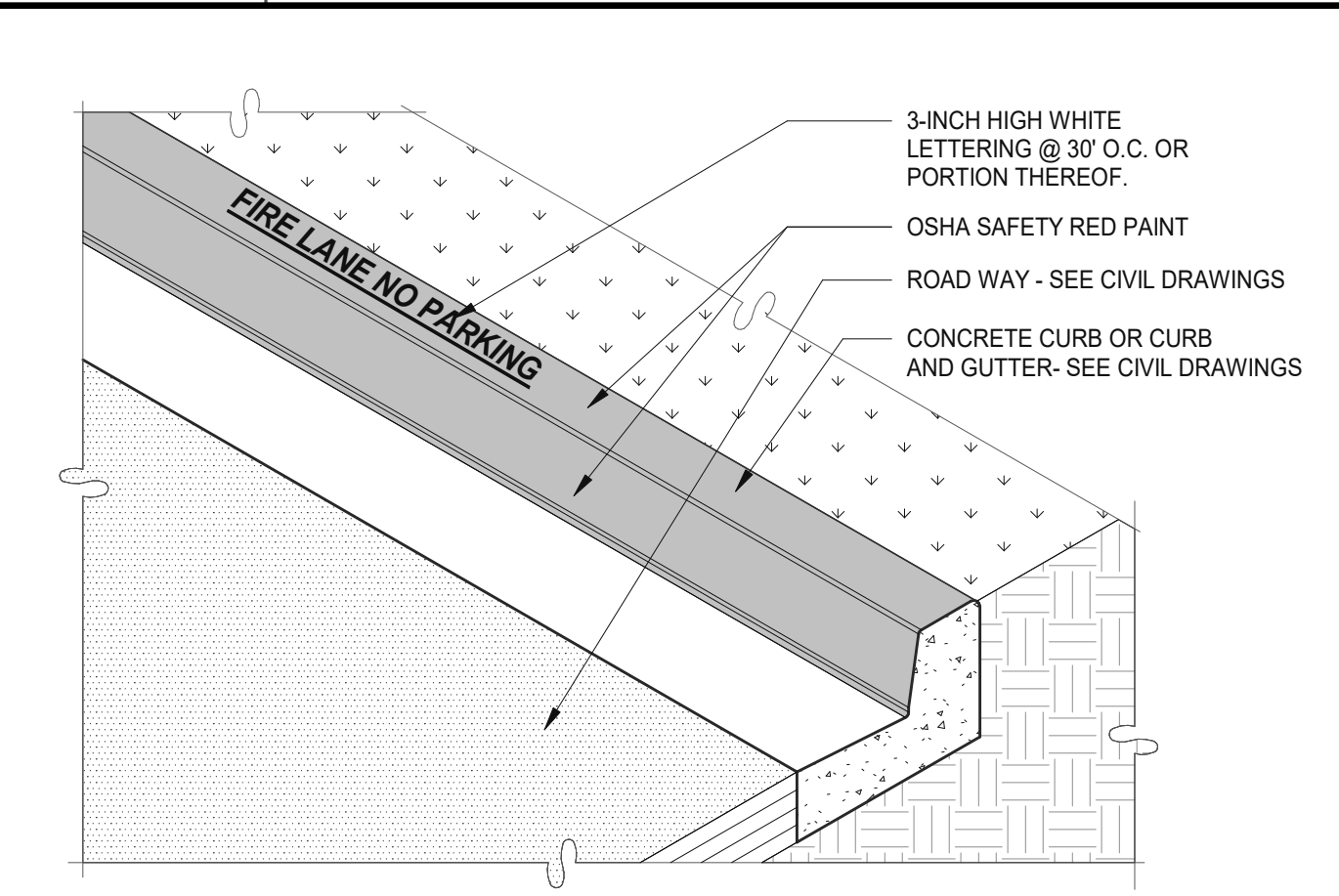
OVERFLOW EXITING (21) SCALE: 1 1/2" = 1'-0"



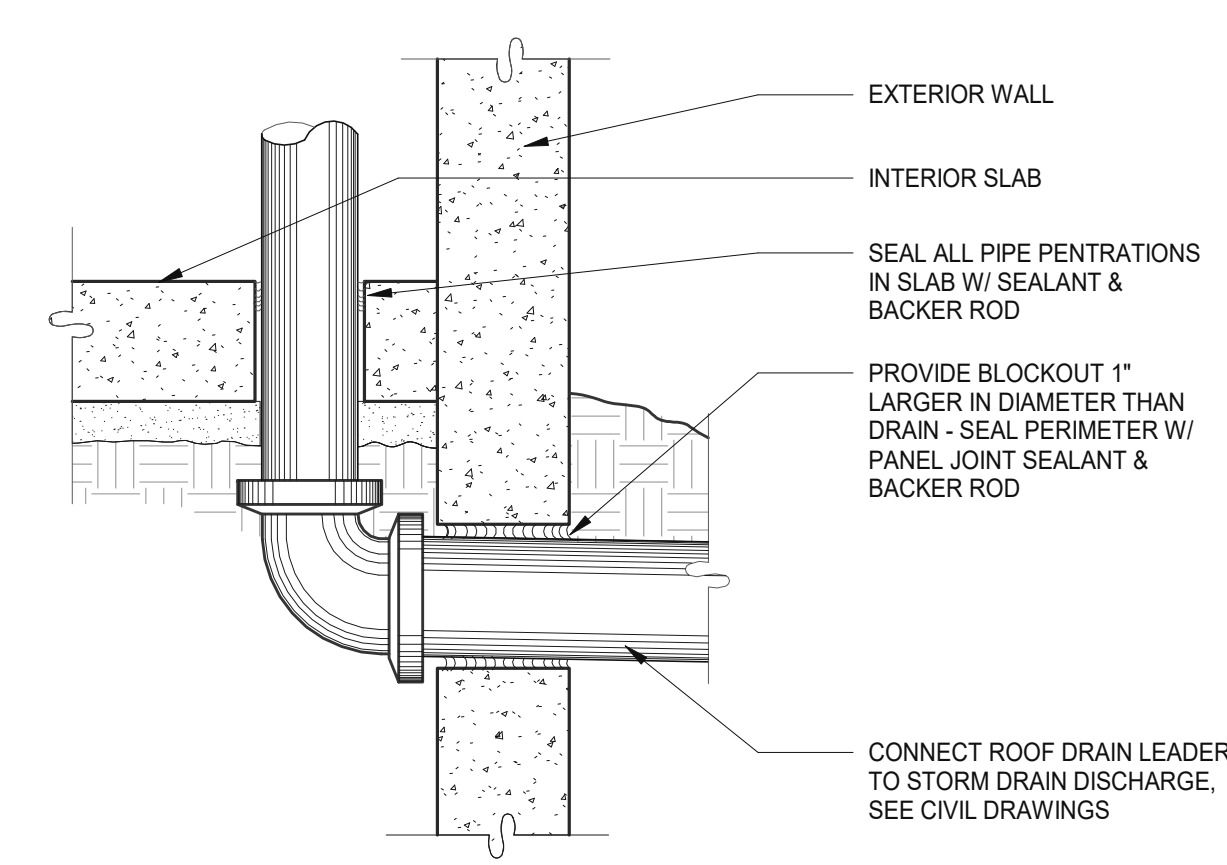
SPLASH BLOCK (16) SCALE: 1" = 1'-0"



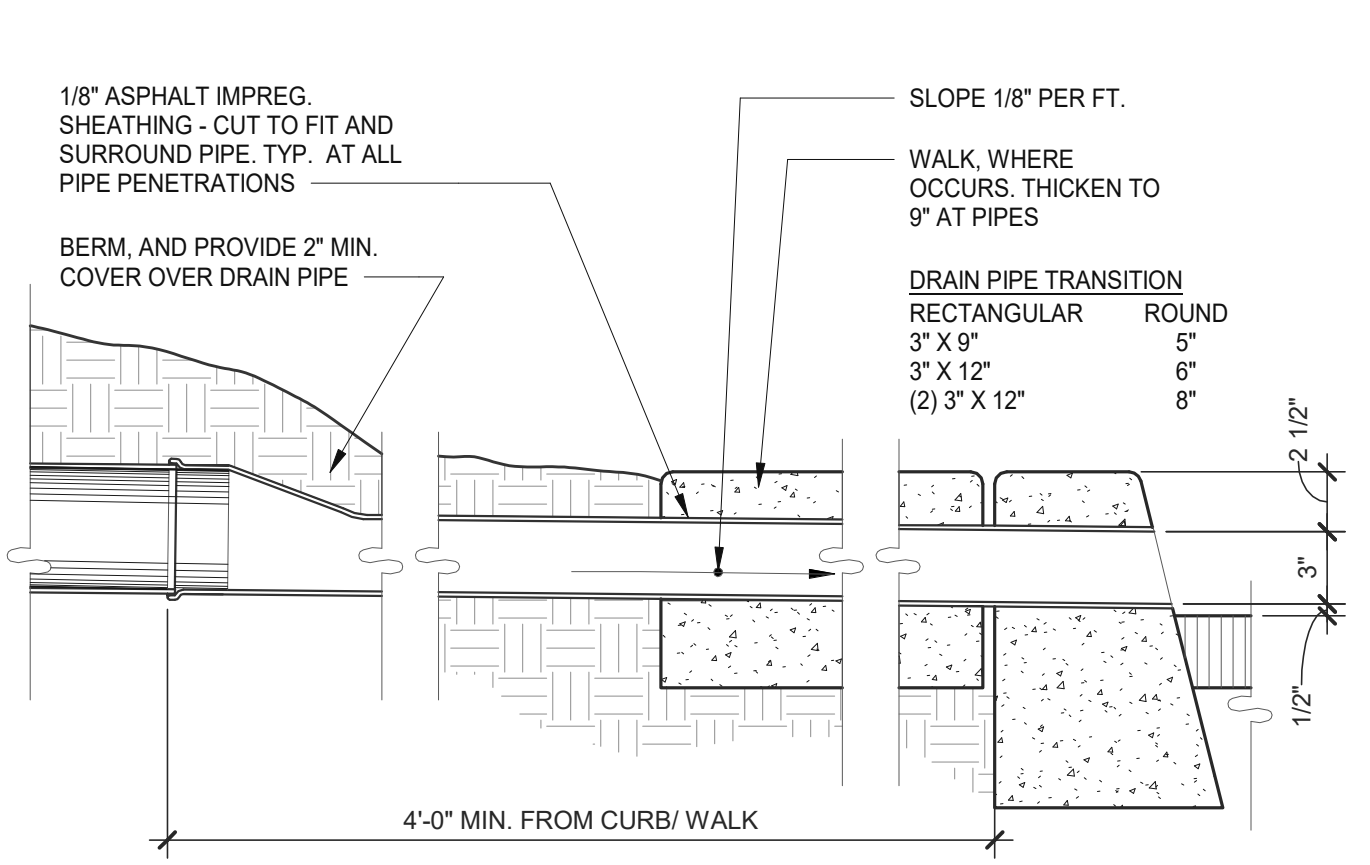
UNAUTHORIZED VEHICLE SIGNAGE (6) SCALE: 1 1/2" = 1'-0"



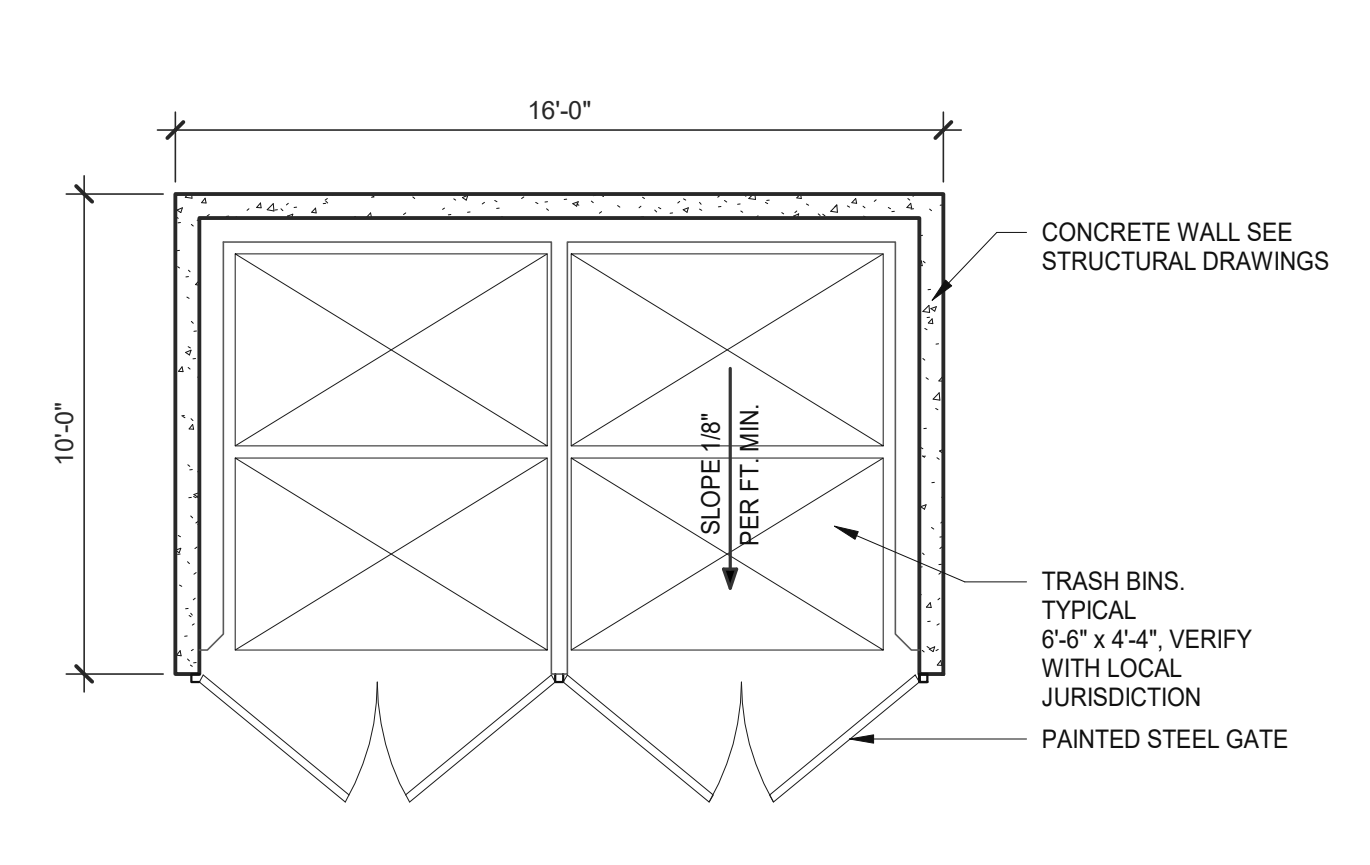
FIRE LANE CURB (1) SCALE: 3/4" = 1'-0"



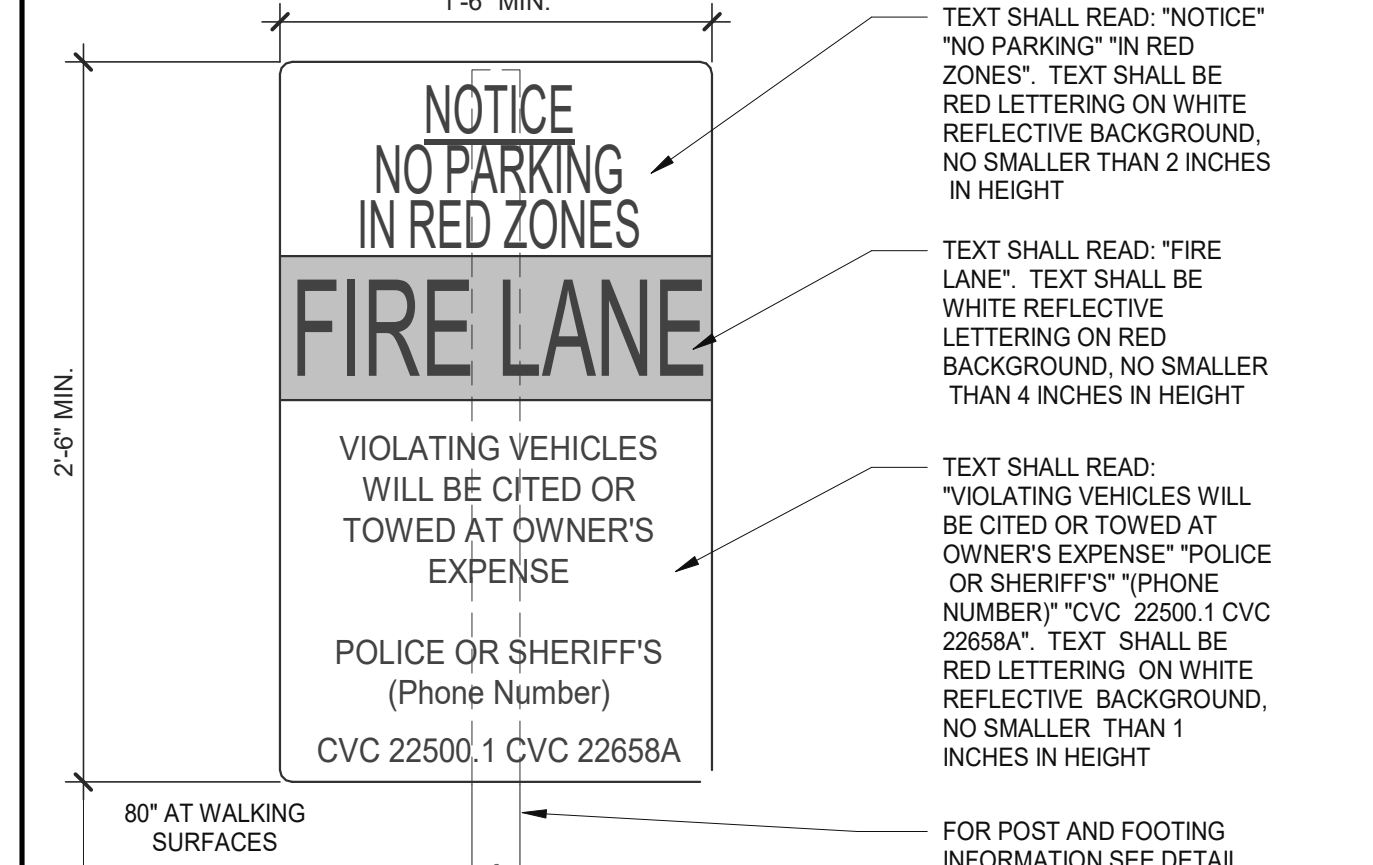
ROOF DRAIN LEADER (22) SCALE: 1 1/2" = 1'-0"



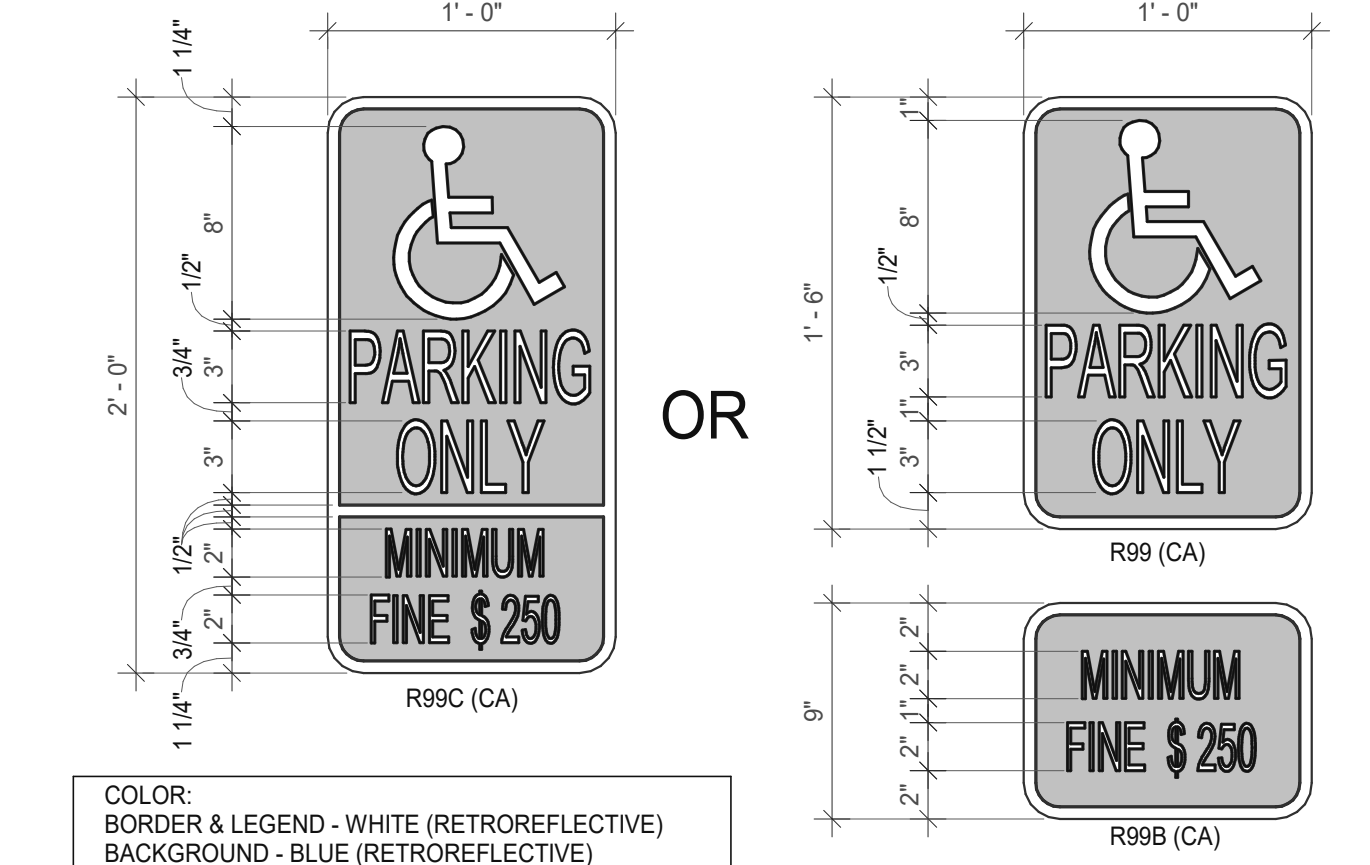
ROOF DRAIN EXITING TO CURB (17) SCALE: 1 1/2" = 1'-0"



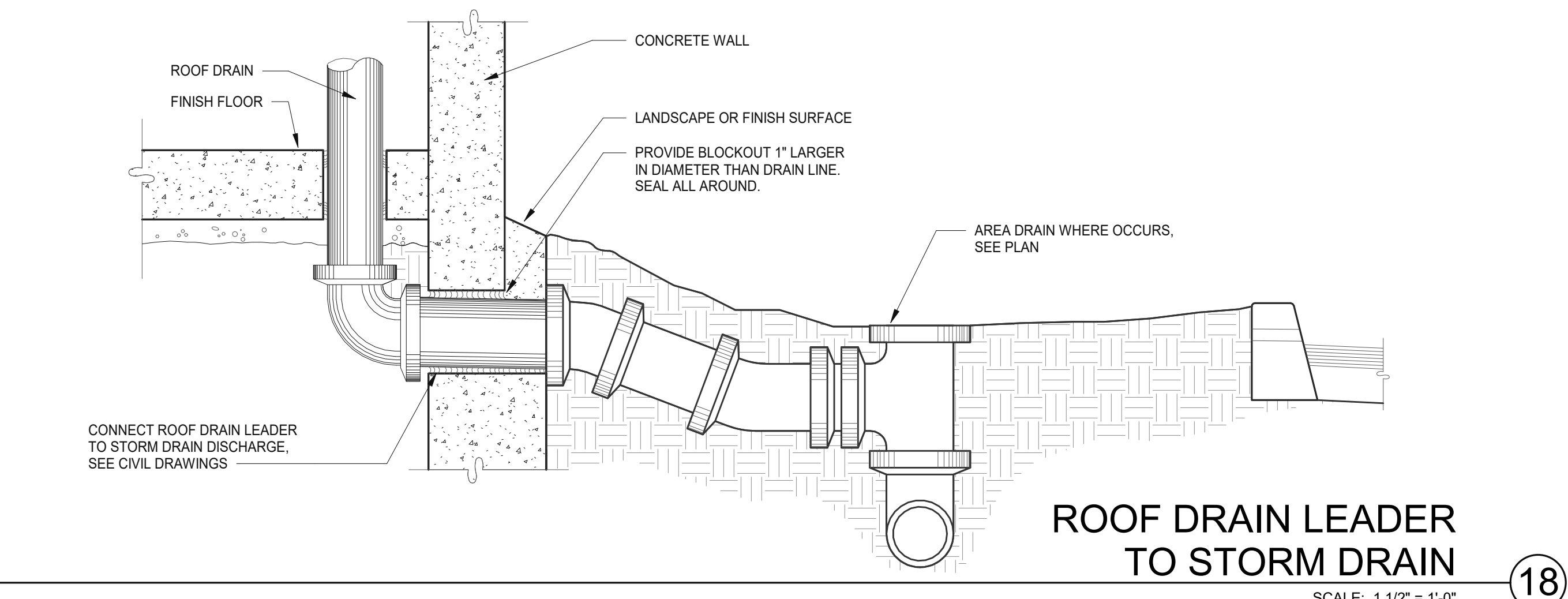
TRASH ENCLOSURE PLAN (12) SCALE: 1/4" = 1'-0"



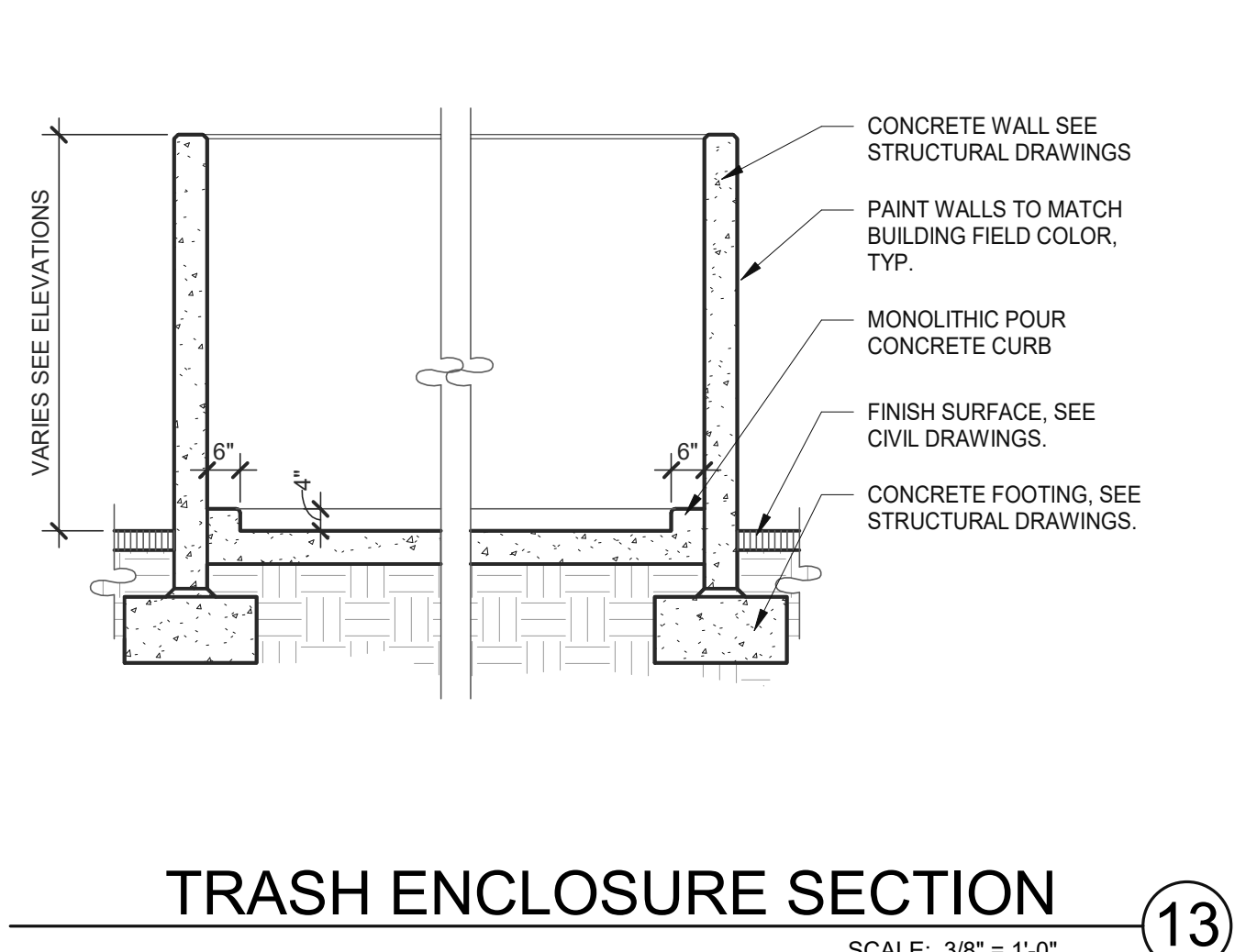
FIRELANE ENTRY SIGNAGE (7) SCALE: 1 1/2" = 1'-0"



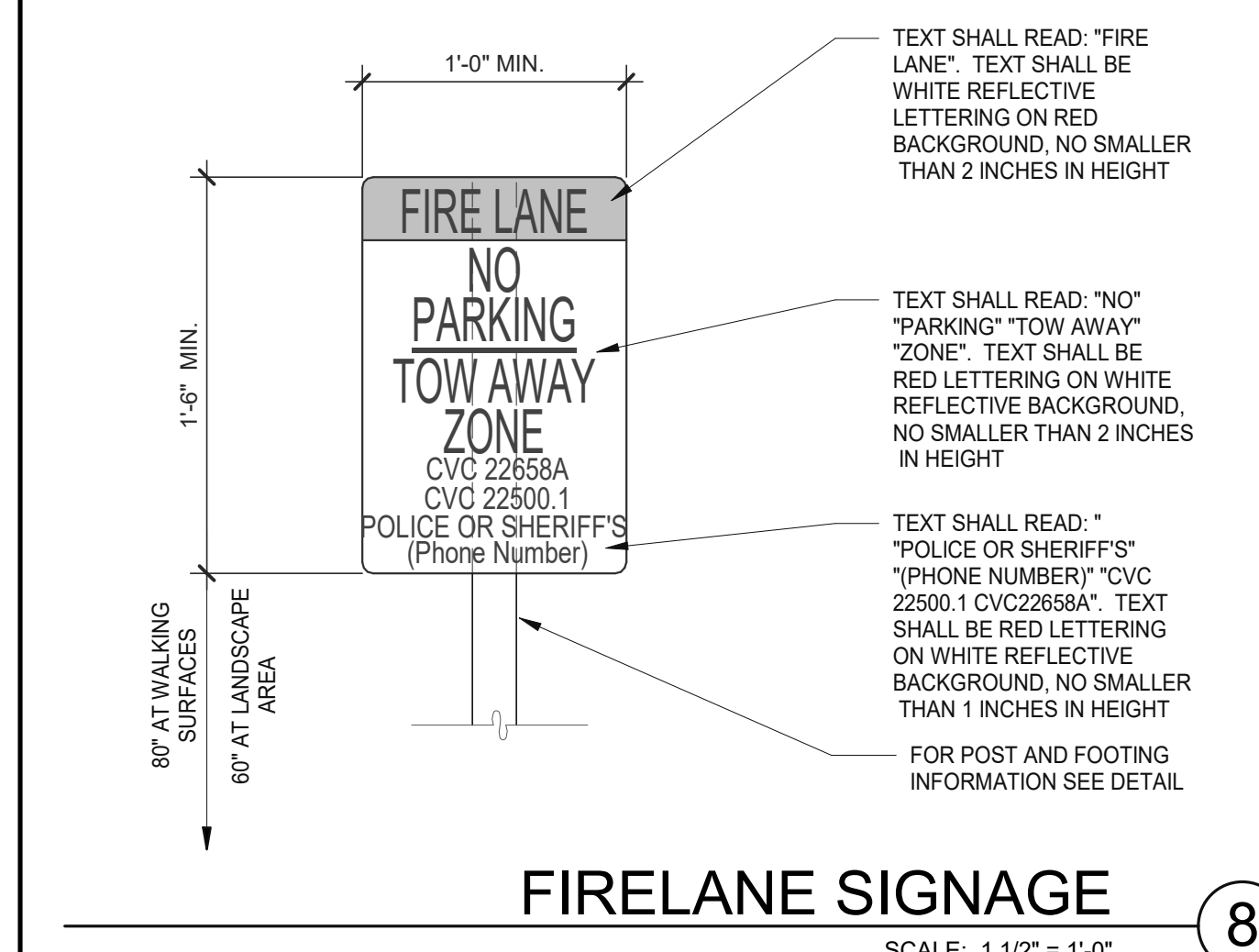
ACCESSIBLE SIGNS (2) SCALE: 1 1/2" = 1'-0"



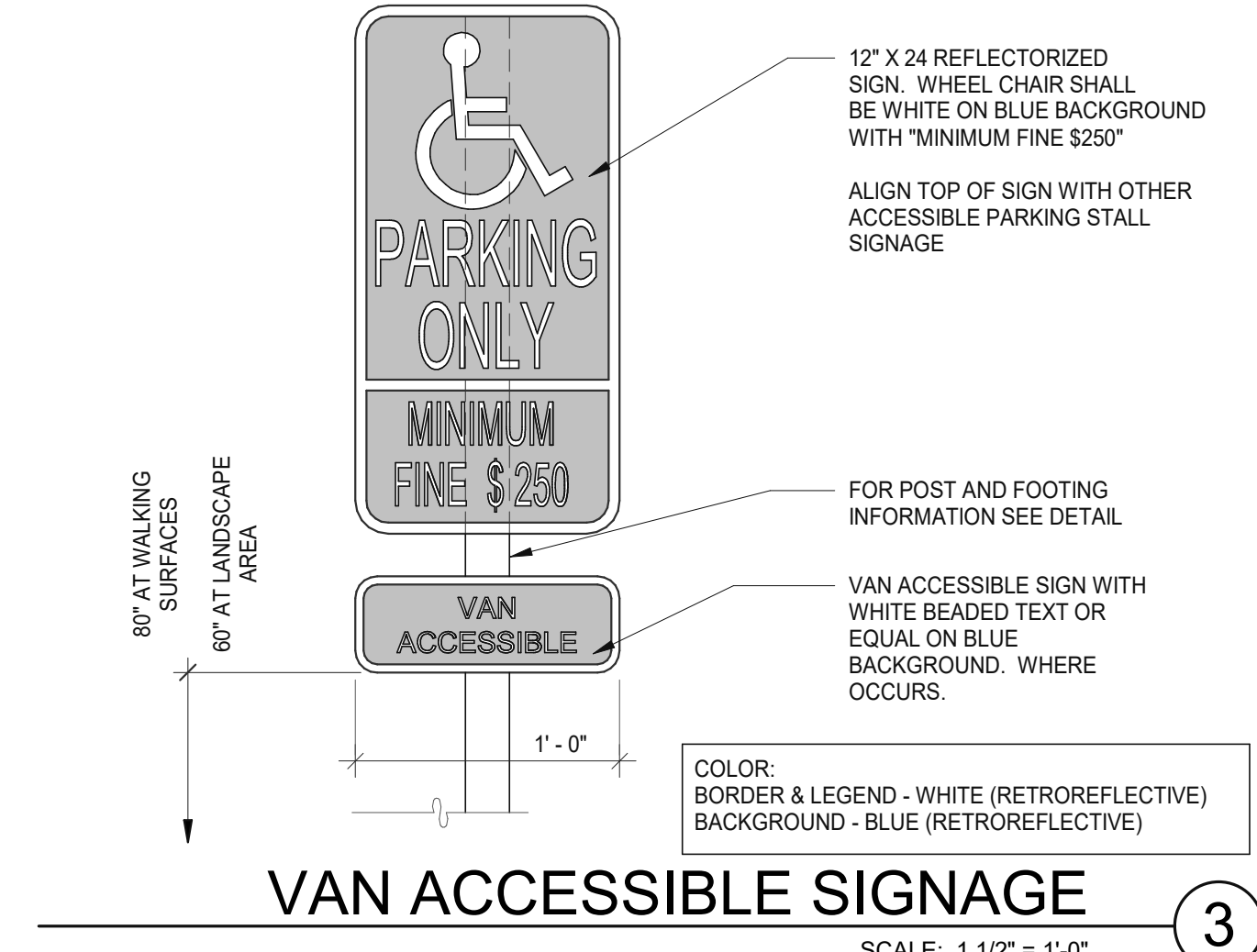
ROOF DRAIN LEADER TO STORM DRAIN (18) SCALE: 1 1/2" = 1'-0"



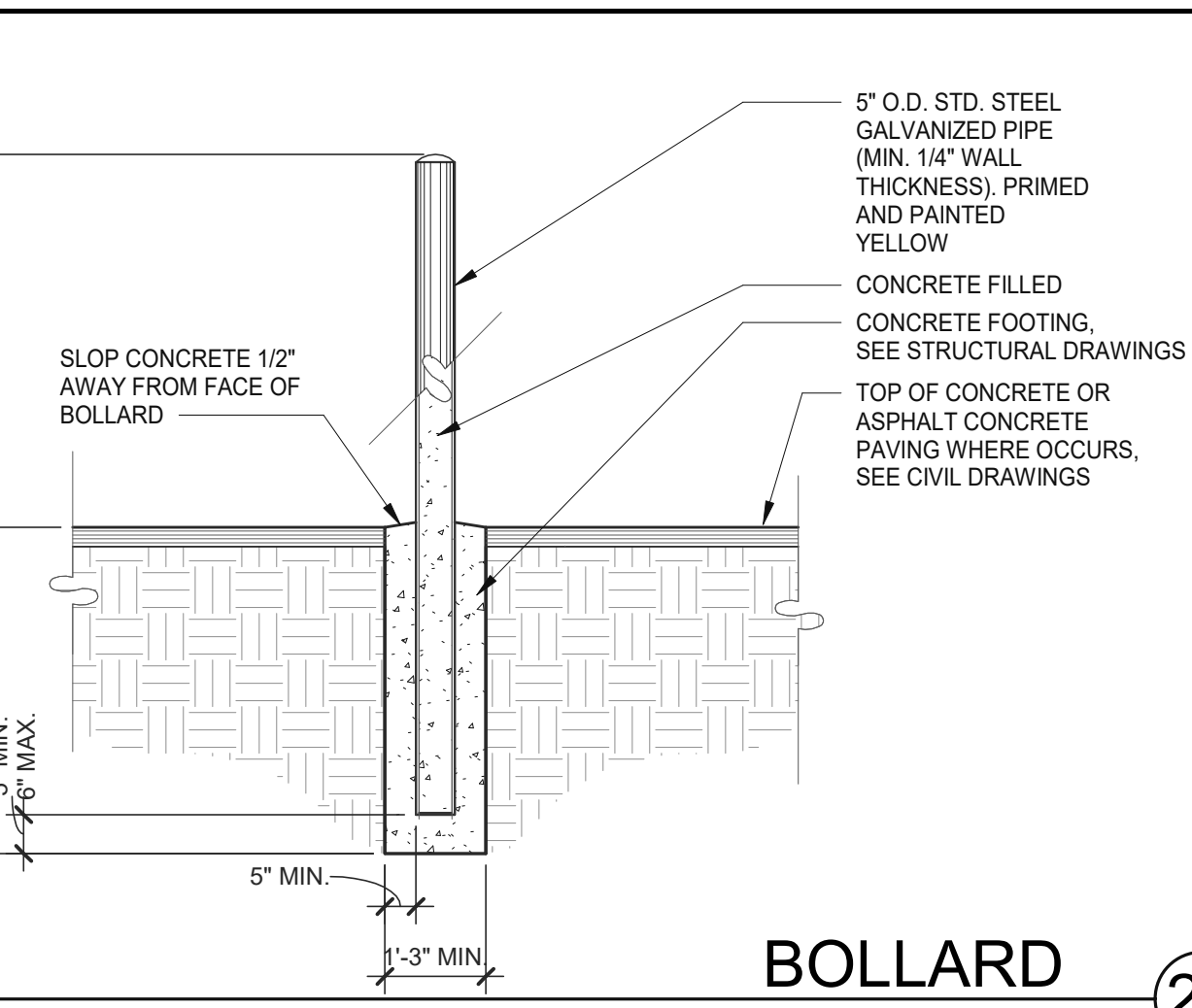
TRASH ENCLOSURE SECTION (13) SCALE: 3/8" = 1'-0"



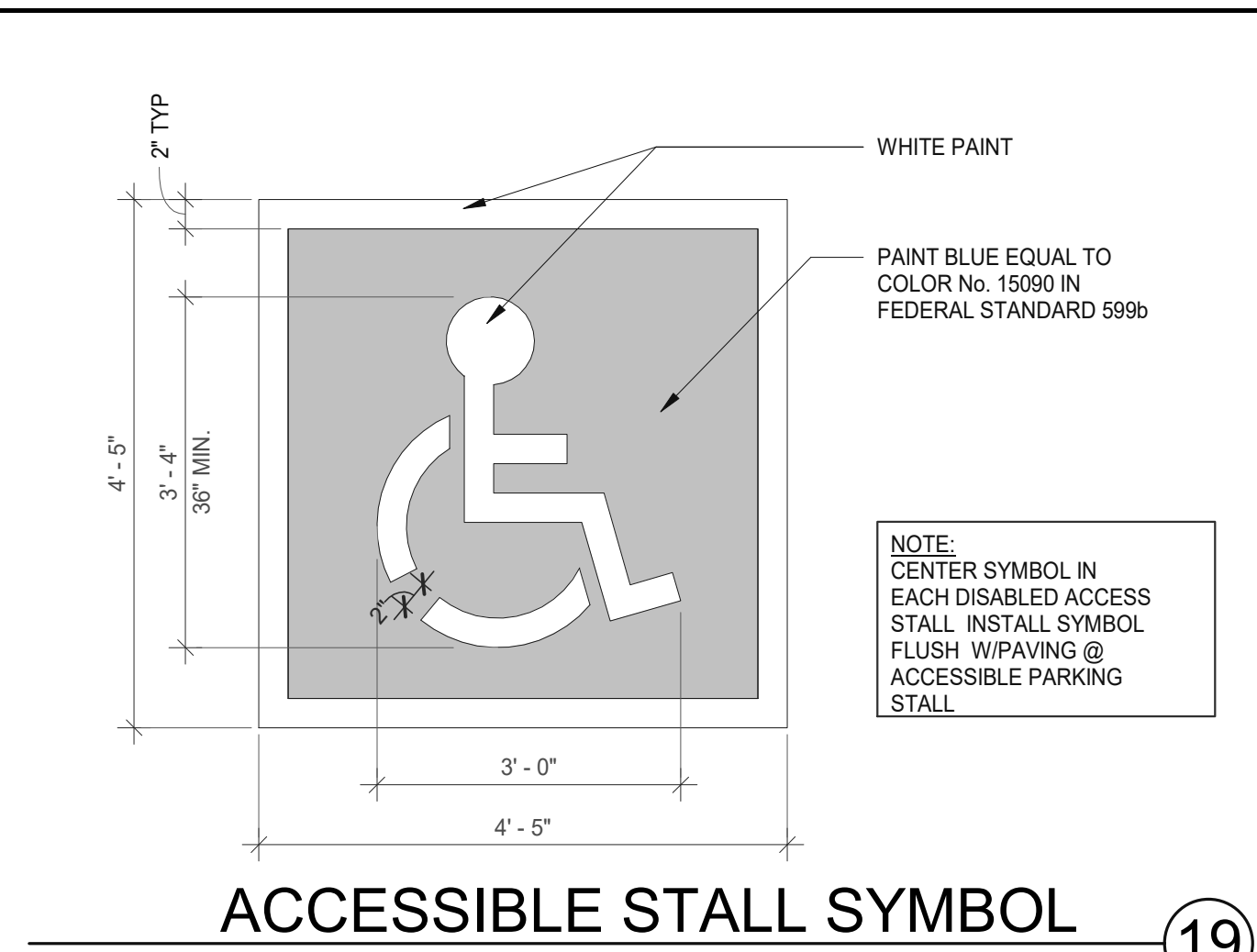
FIRELANE SIGNAGE (8) SCALE: 1 1/2" = 1'-0"



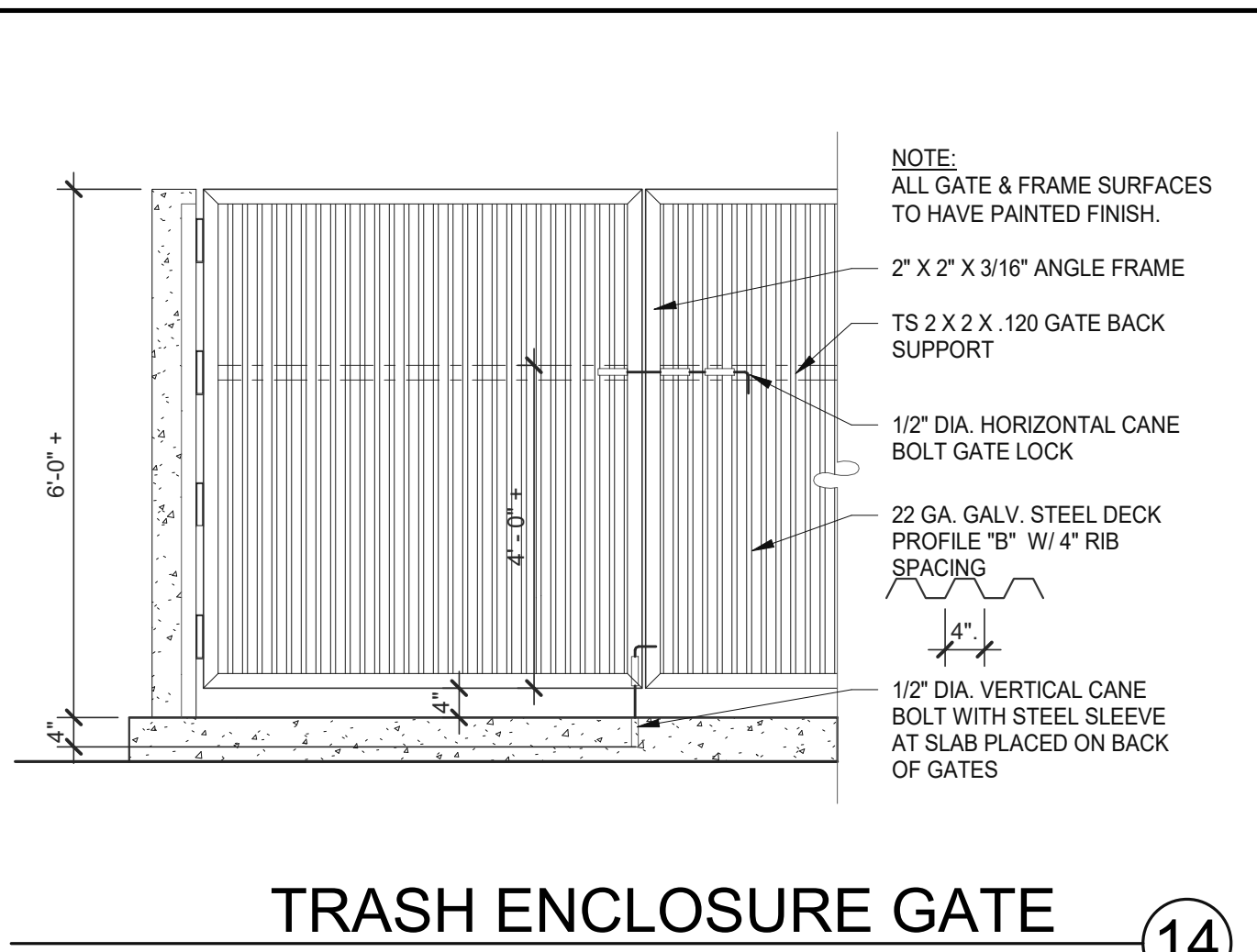
VAN ACCESSIBLE SIGNAGE (3) SCALE: 1 1/2" = 1'-0"



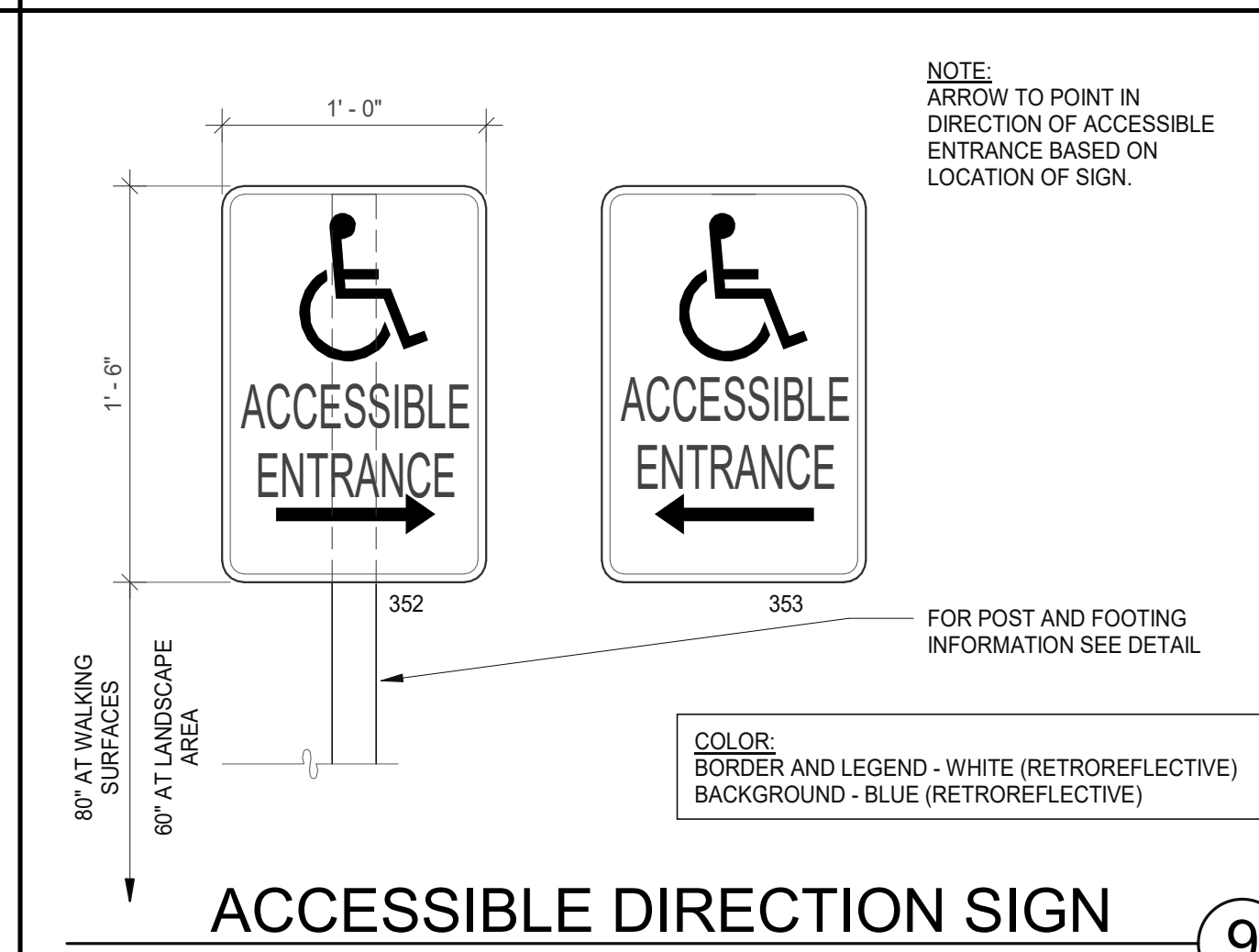
BOLLARD (24) SCALE: 1/2" = 1'-0"



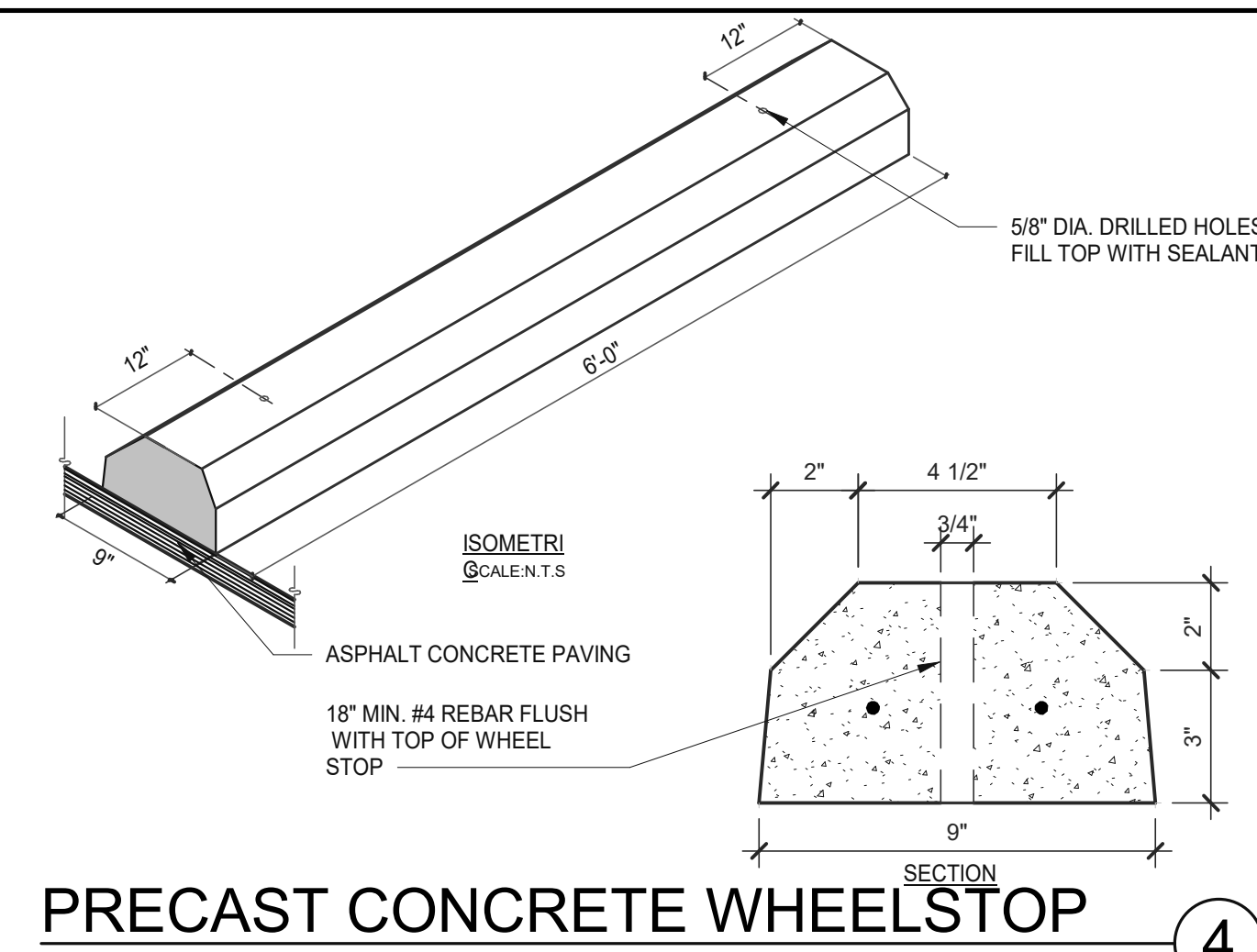
ACCESSIBLE STALL SYMBOL (19) SCALE: 1" = 1'-0"



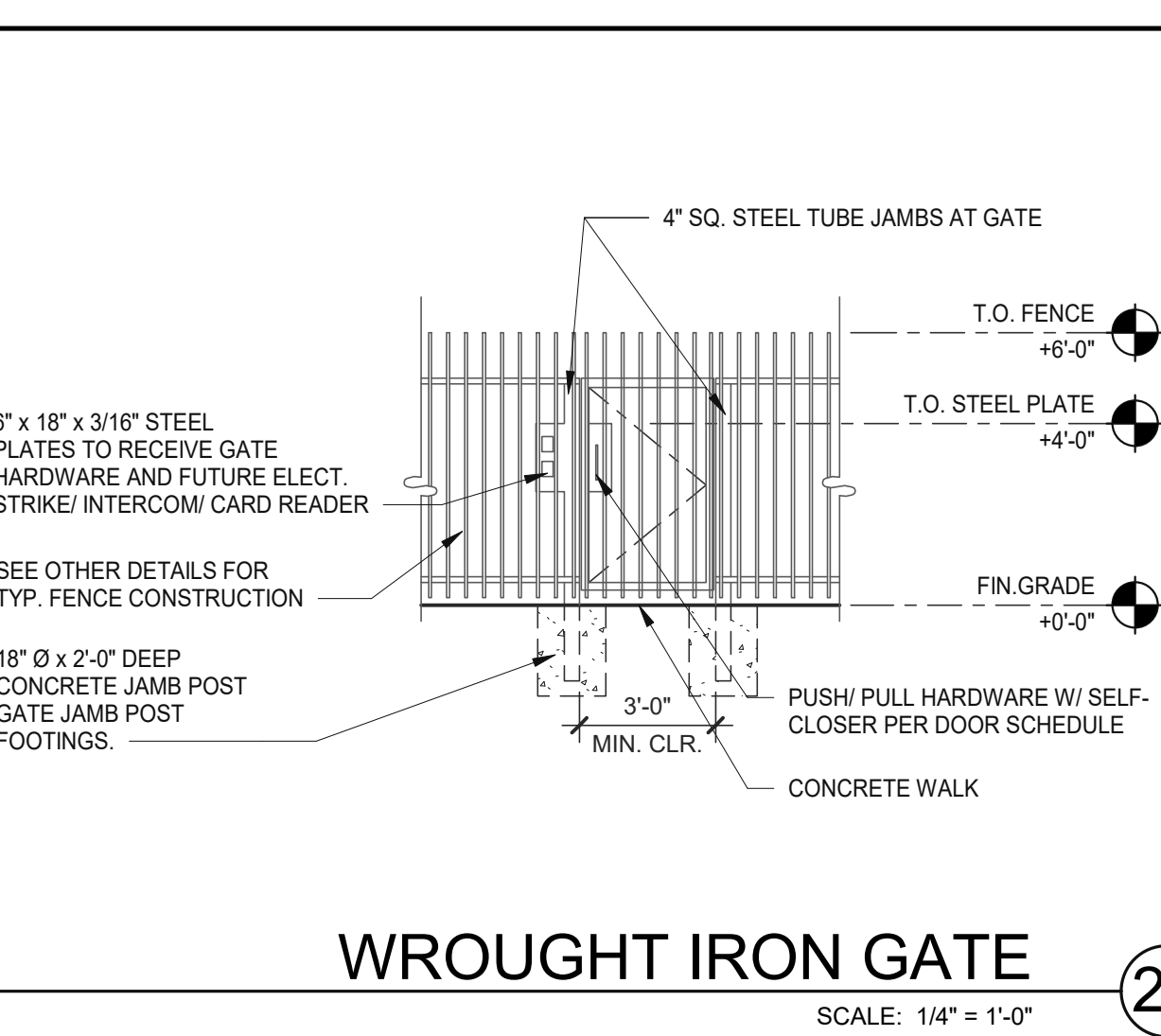
TRASH ENCLOSURE GATE (14) SCALE: 1/2" = 1'-0"



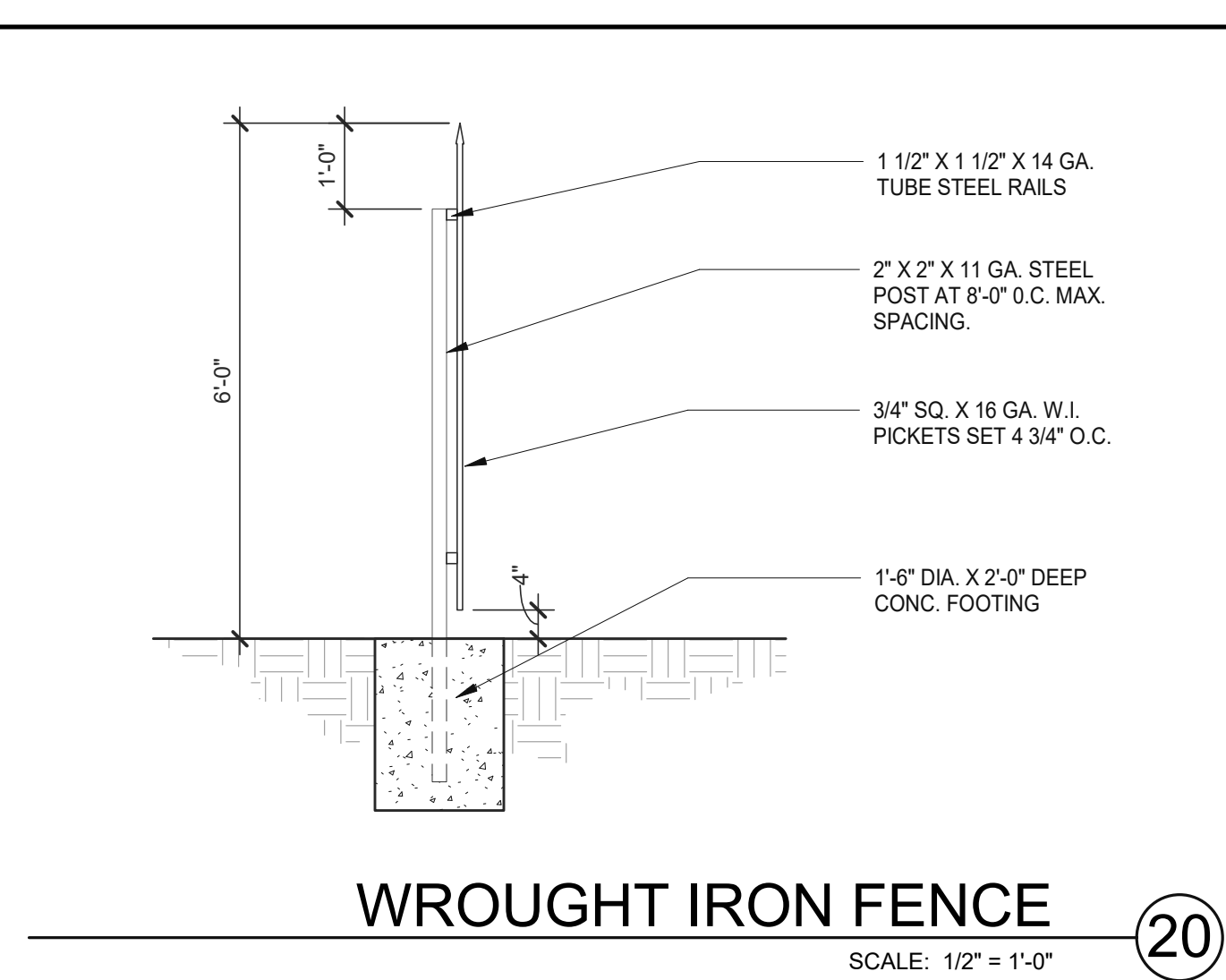
ACCESSIBLE DIRECTION SIGN (9) SCALE: 1 1/2" = 1'-0"



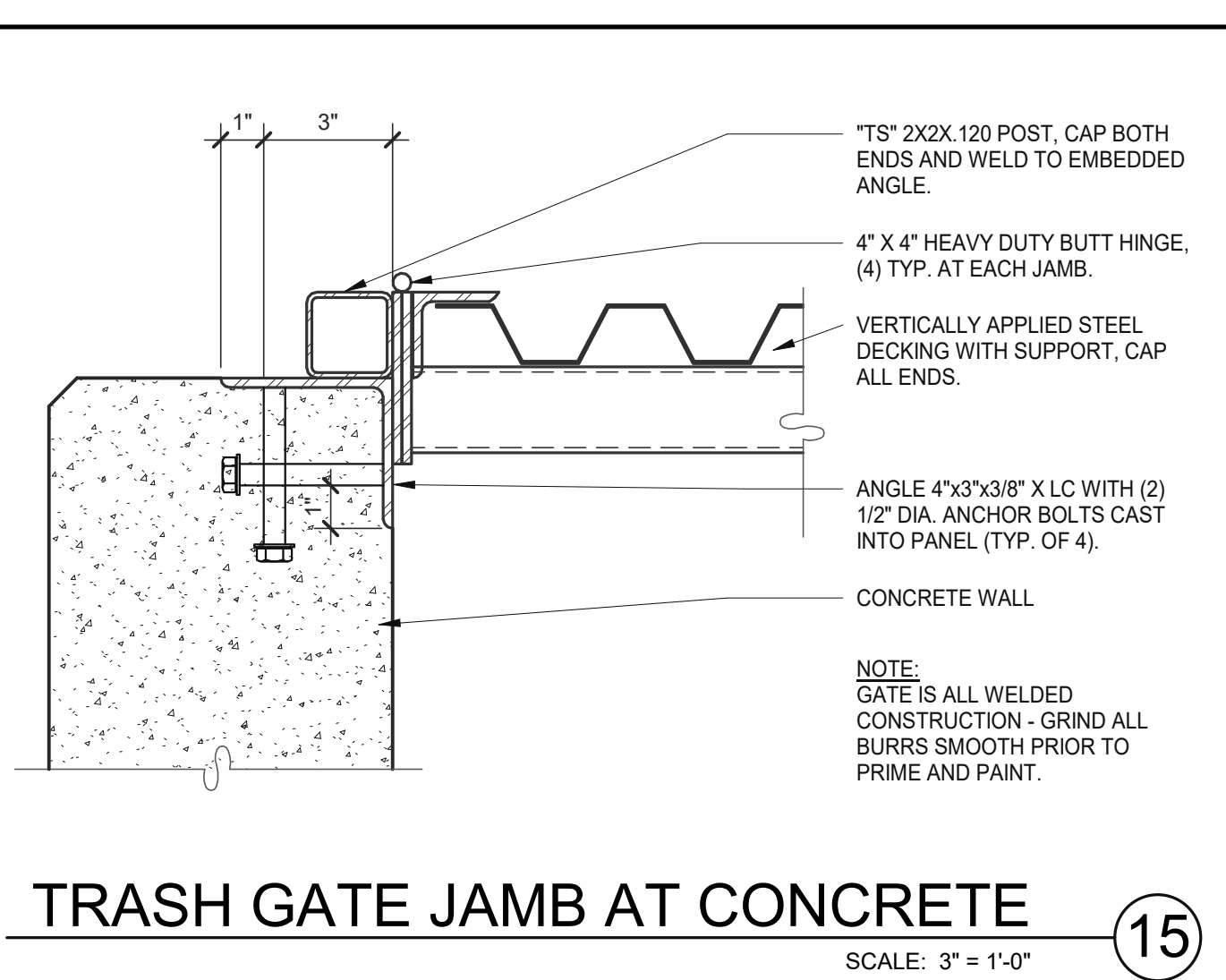
PRECAST CONCRETE WHEELSTOP (4) SCALE: 3" = 1'-0"



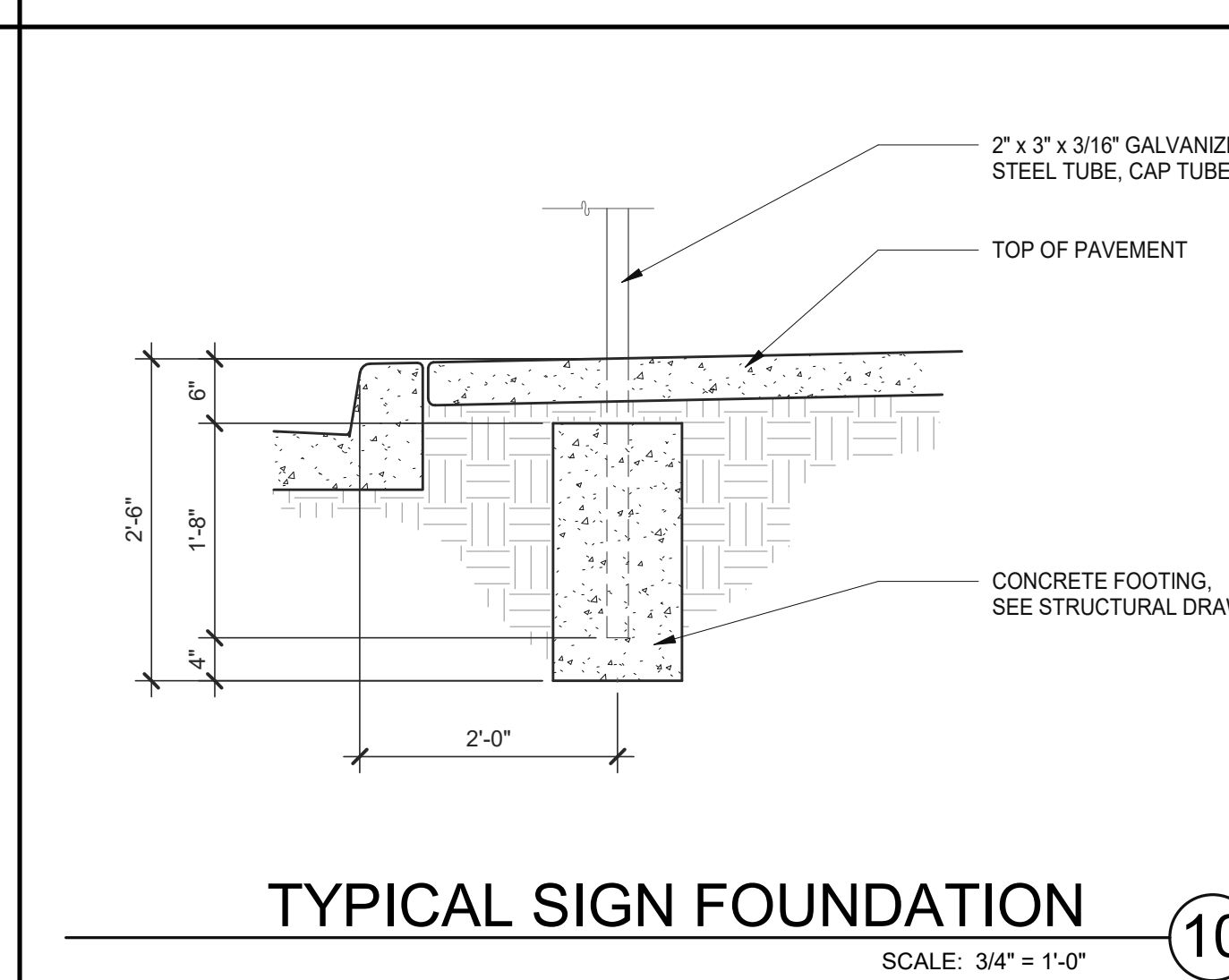
WROUGHT IRON GATE (25) SCALE: 1/4" = 1'-0"



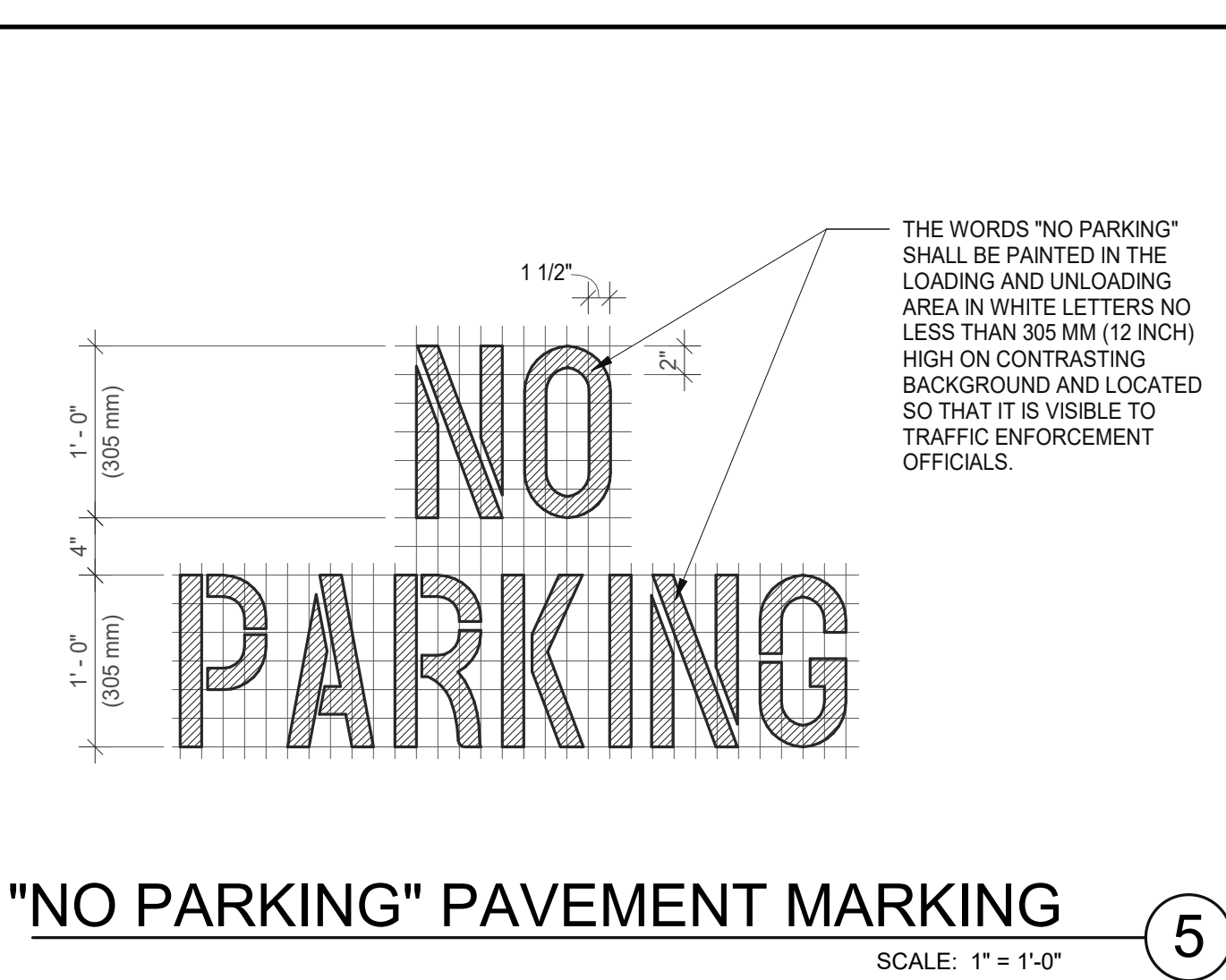
WROUGHT IRON FENCE (20) SCALE: 1/2" = 1'-0"



TRASH GATE JAMB AT CONCRETE (15) SCALE: 3" = 1'-0"



TYPICAL SIGN FOUNDATION (10) SCALE: 3/4" = 1'-0"



"NO PARKING" PAVEMENT MARKING (5) SCALE: 1" = 1'-0"

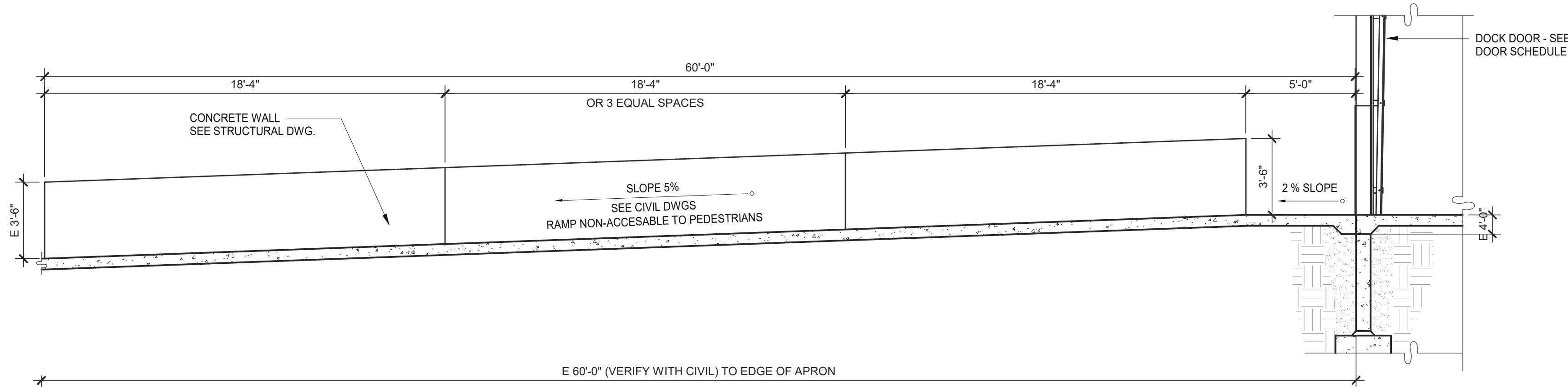
WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

REMARKS	
DATE	12/20/2021
SITE AND DESIGN REVIEW SUBMITTAL	
PAPM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

SHEET
A6.1

WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
4655 Chabot Dr., Suite #200
Piedmont, CA 94629
P. 925.244.9620

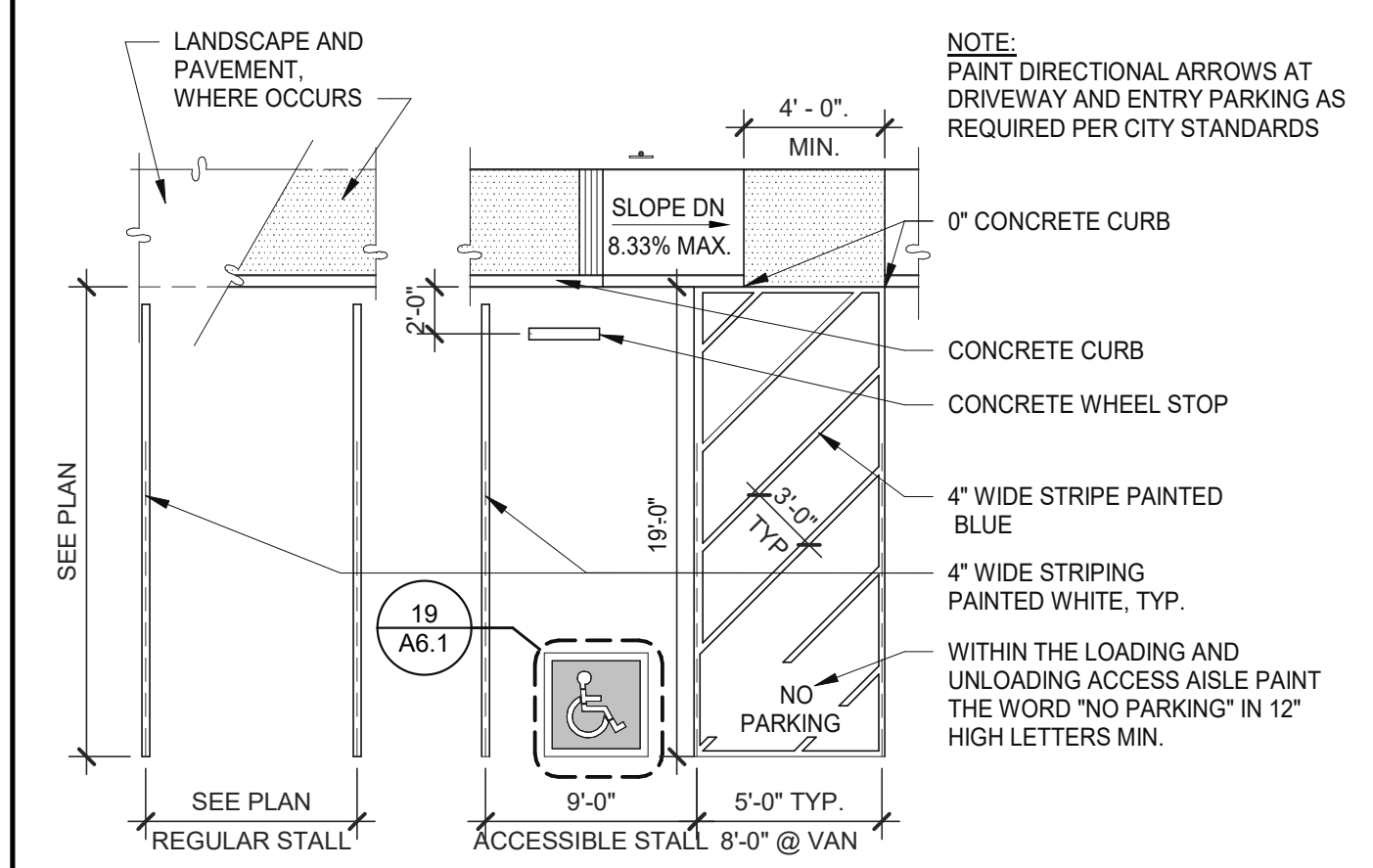
CAUTION: IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT



DOCK RAMP SECTION

SCALE: 1/4" = 1'-0"

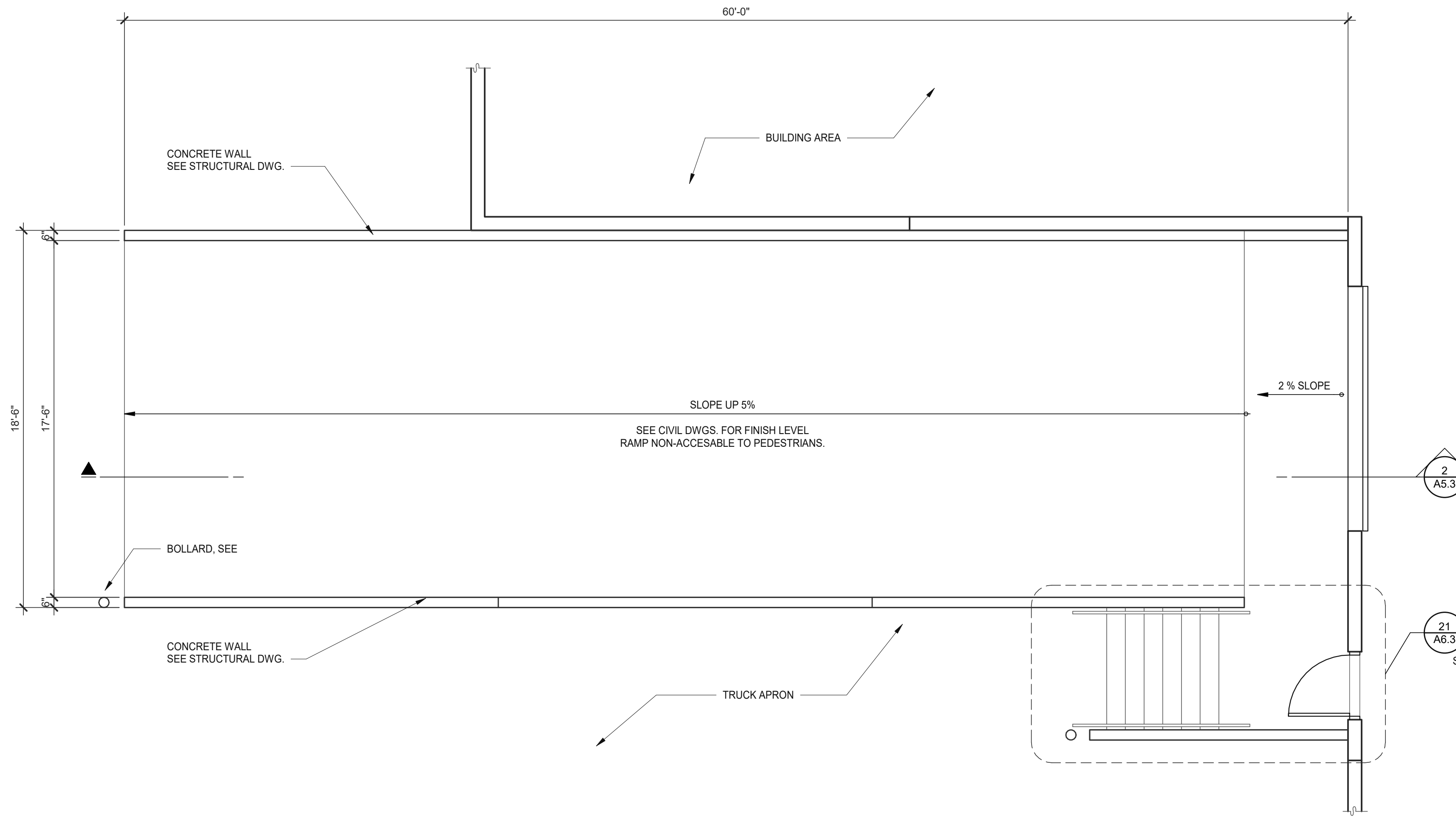
6



TYPICAL PARKING STALLS

SCALE: 1/8" = 1'-0"

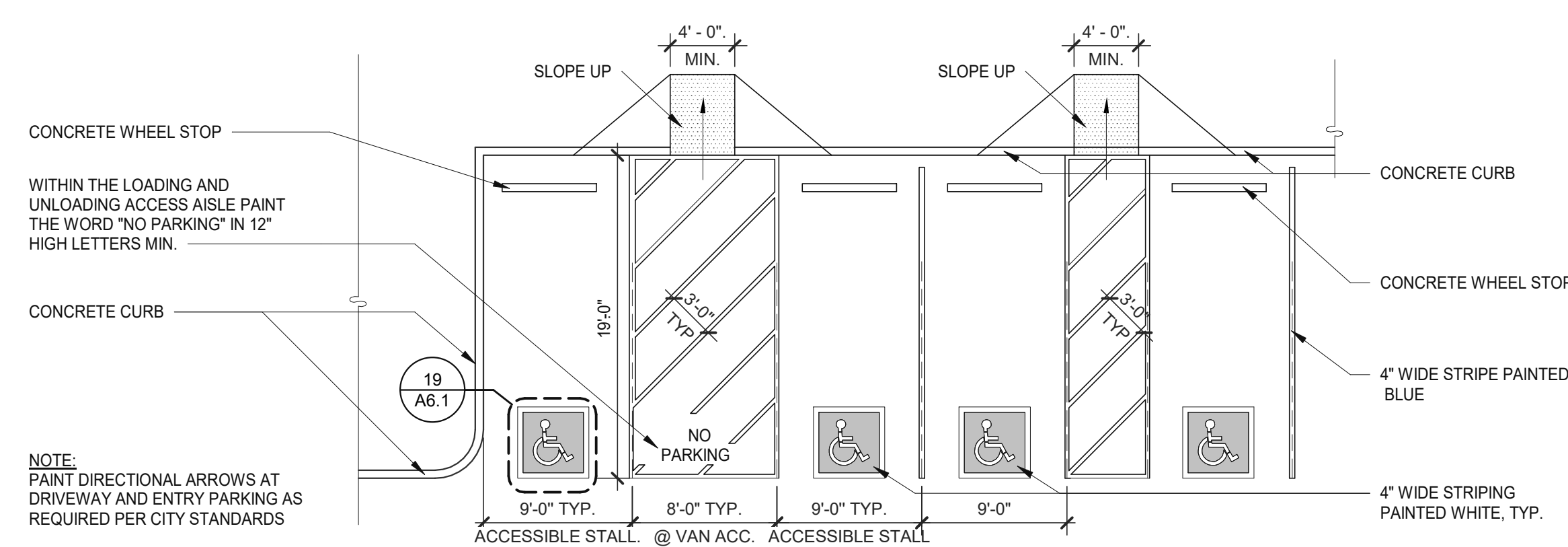
1



DOCK RAMP - PLAN

SCALE: 1/4" = 1'-0"

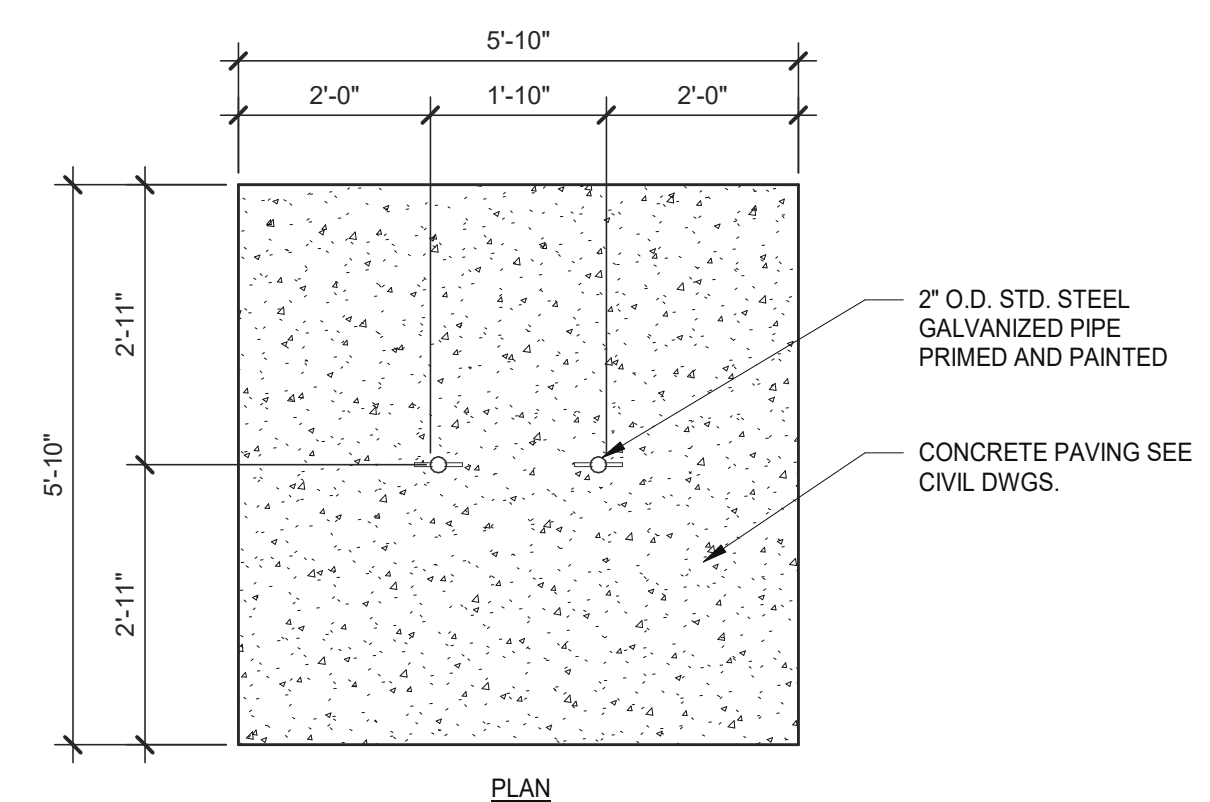
8



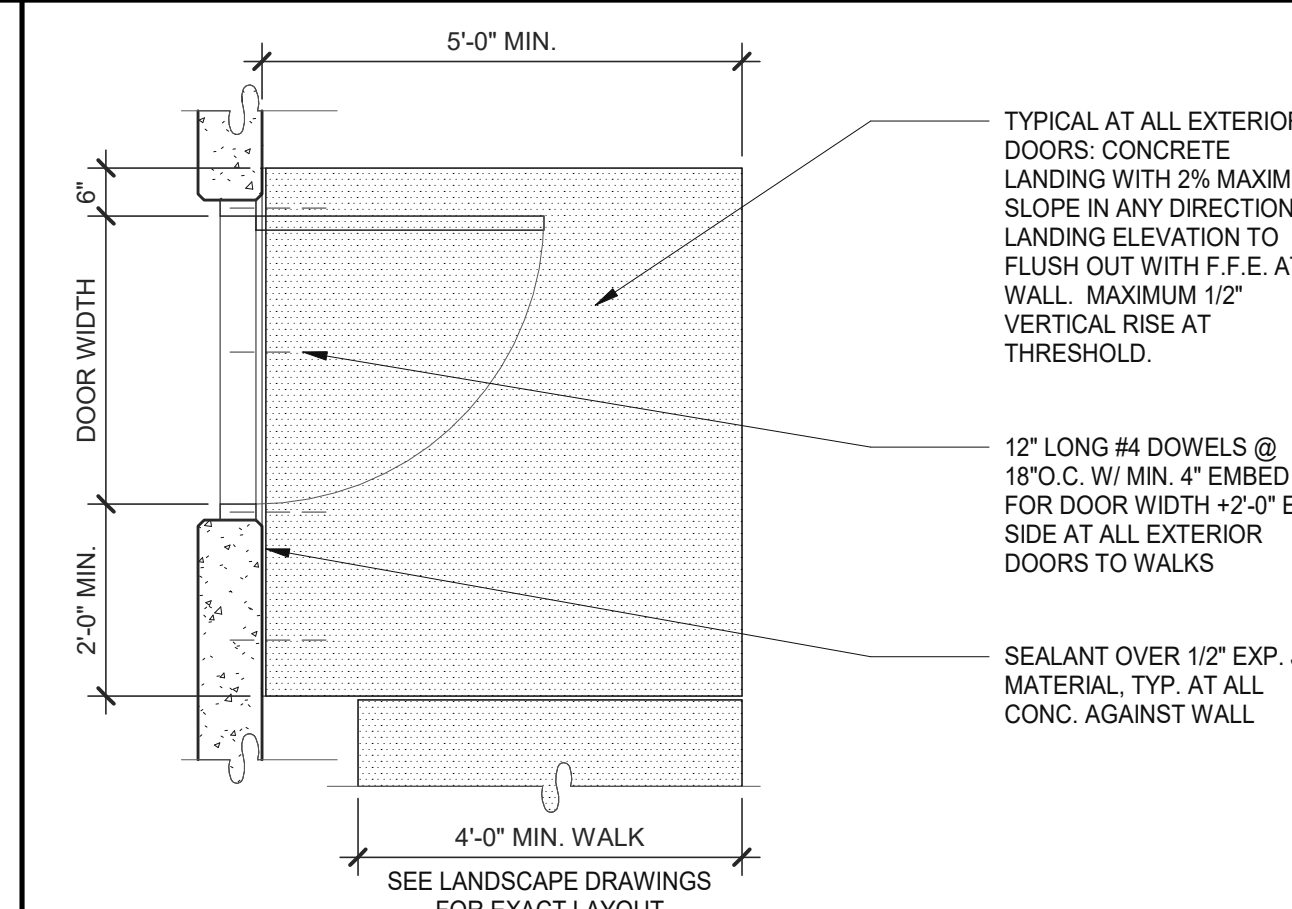
TYPICAL PARKING STALLS

SCALE: 1/8" = 1'-0"

9



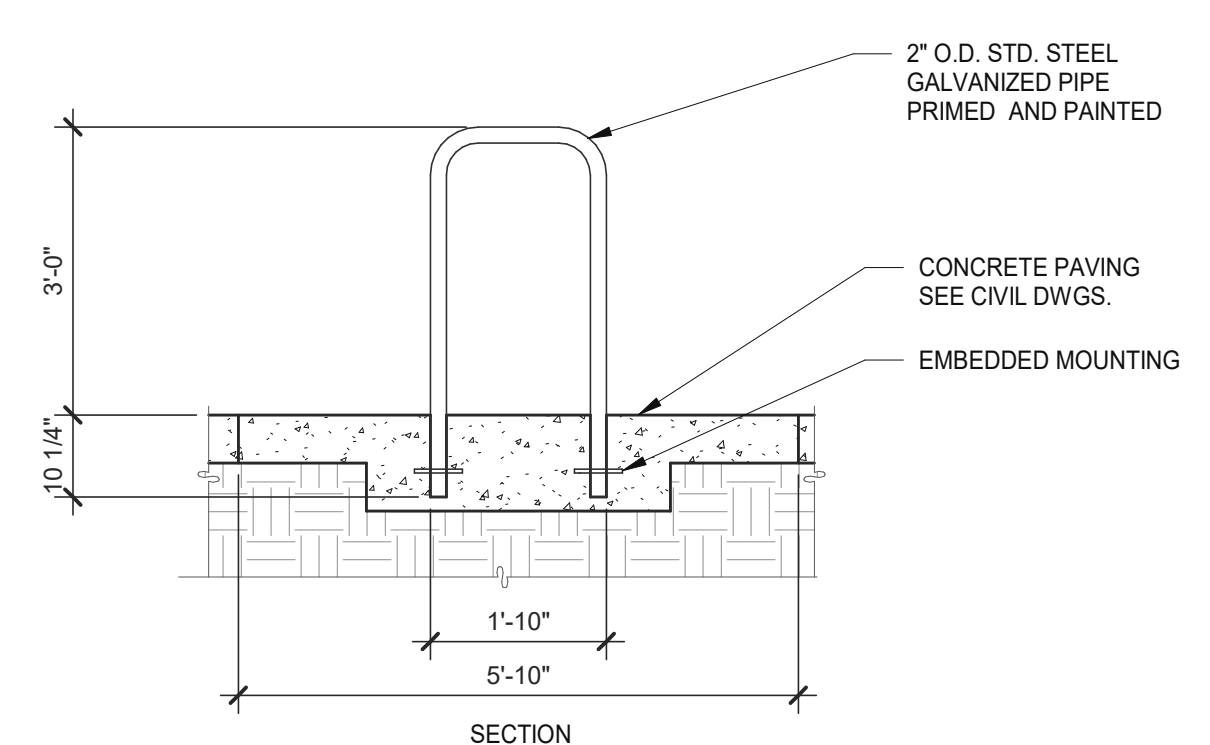
PLAN



CONCRETE LANDING

SCALE: 1/2" = 1'-0"

10



BIKE RACK

SCALE: 1/2" = 1'-0"

5

WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
4655 Chabot Dr., Suite #200
Pleasanton, CA 94588
P: 925.244.9200
F: 925.244.9200

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

DETAILS	
DATE	REMARKS
12/20/2021	SITE AND DESIGN REVIEW SUBMITTAL




PA/PM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

SHEET
A6.1a

WARE MALCOLM
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING BUILDING MEASUREMENT
 INTERIORS
 4655 Chabot Dr., Suite #200
 Fremont, CA 94538
 P: 925.244.8620

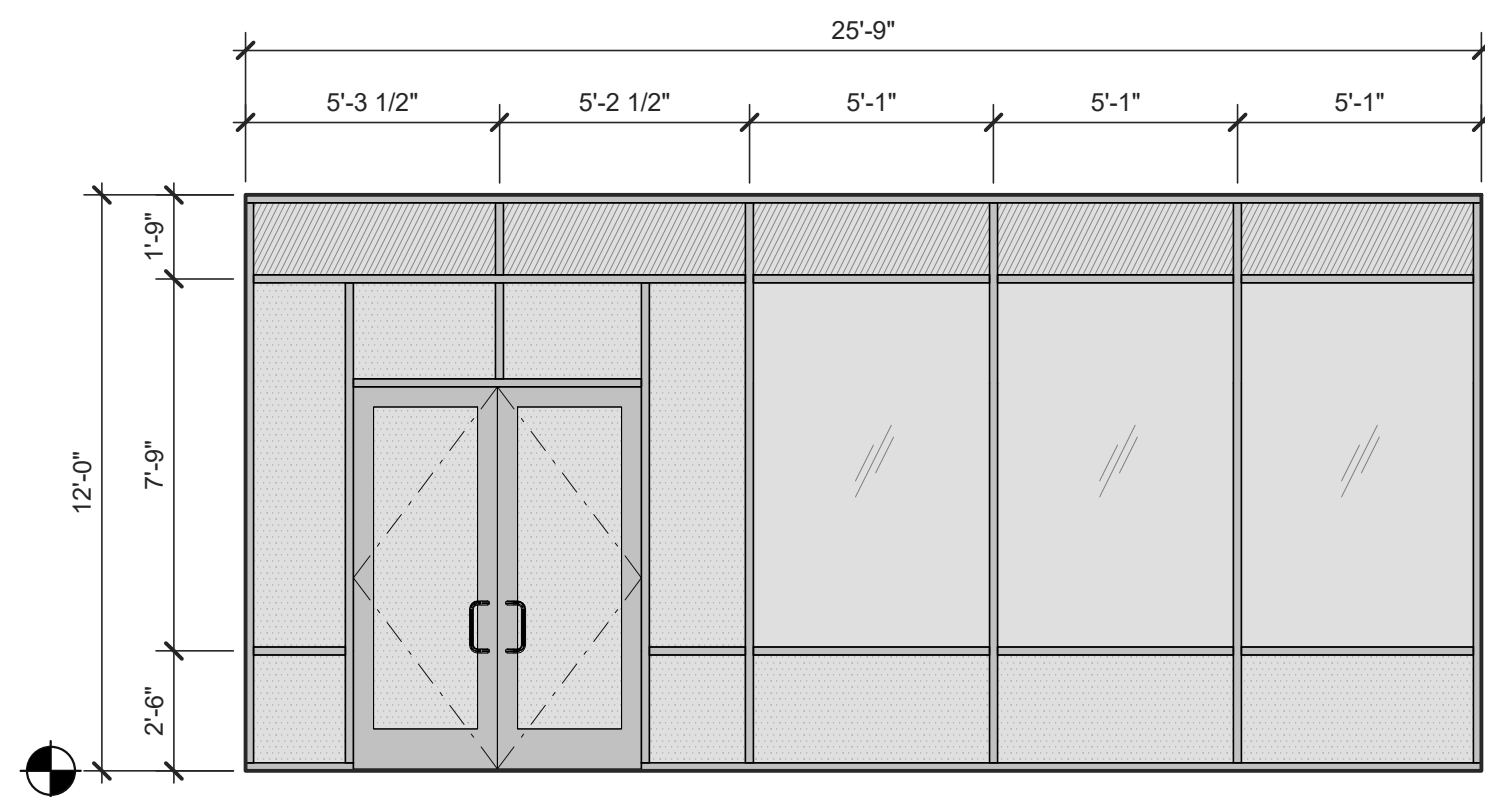
GLAZING LEGEND

GLASS:

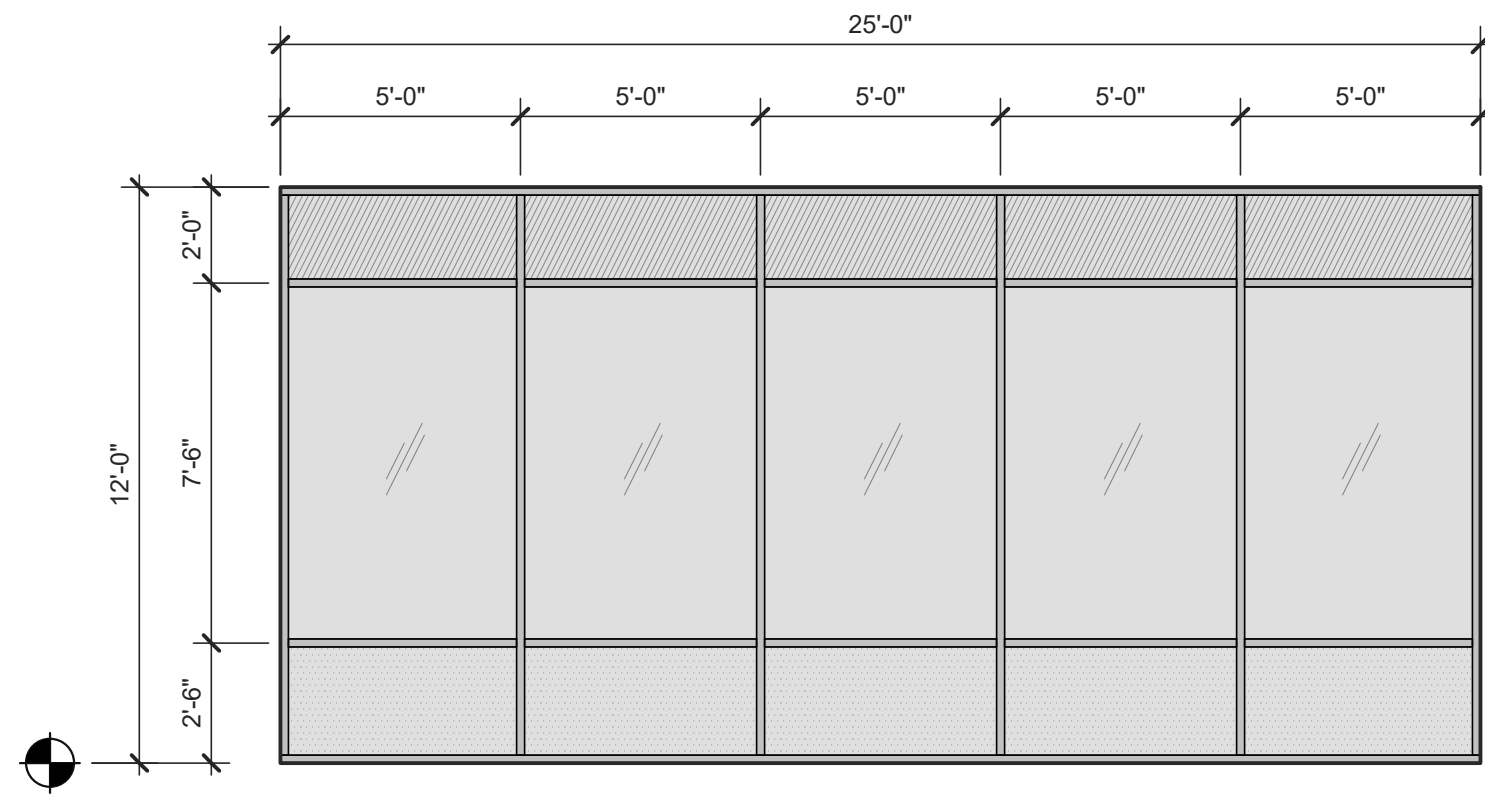
-  VISION GLASS
-  SPANDEL GLASS
-  TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
 XXXXXXXX
 U FACTOR = 0.28 AND SHGC = 0.28
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

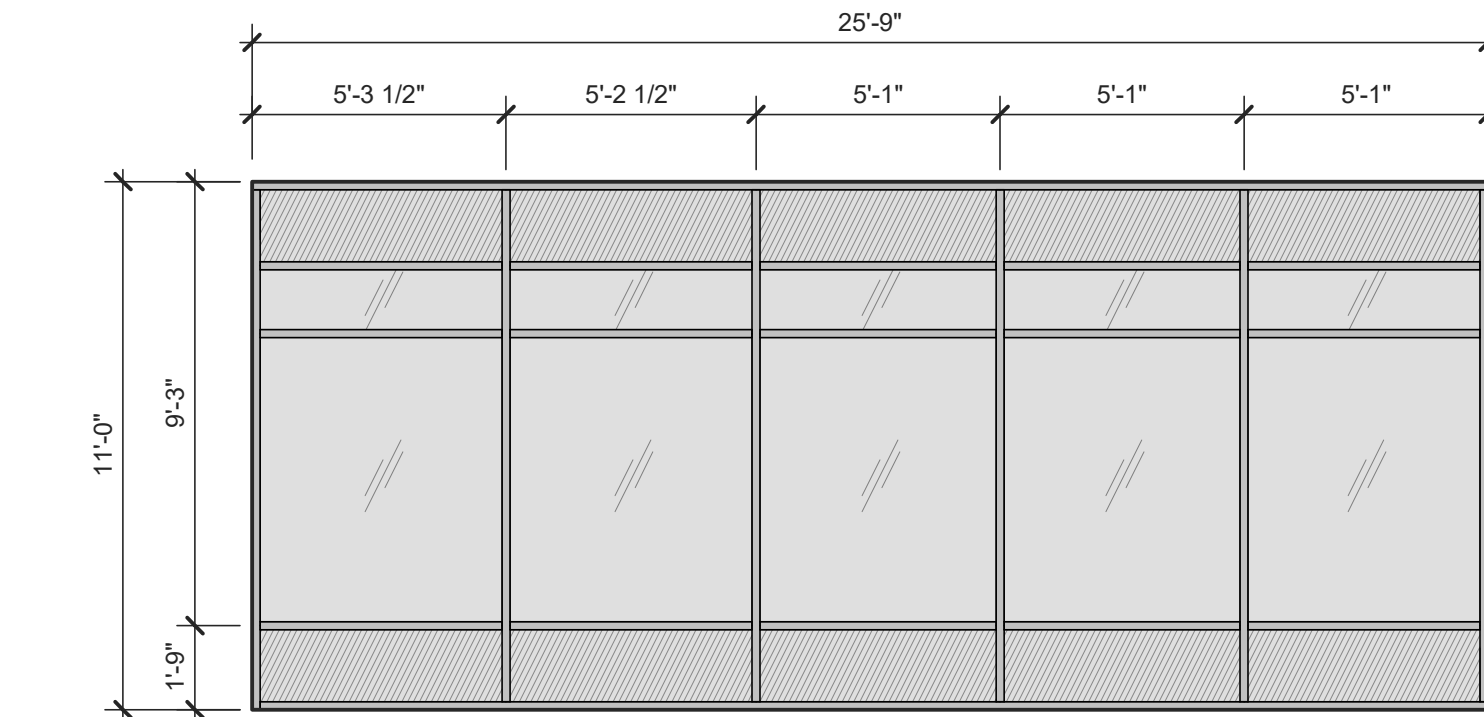
WINDOW TYPES



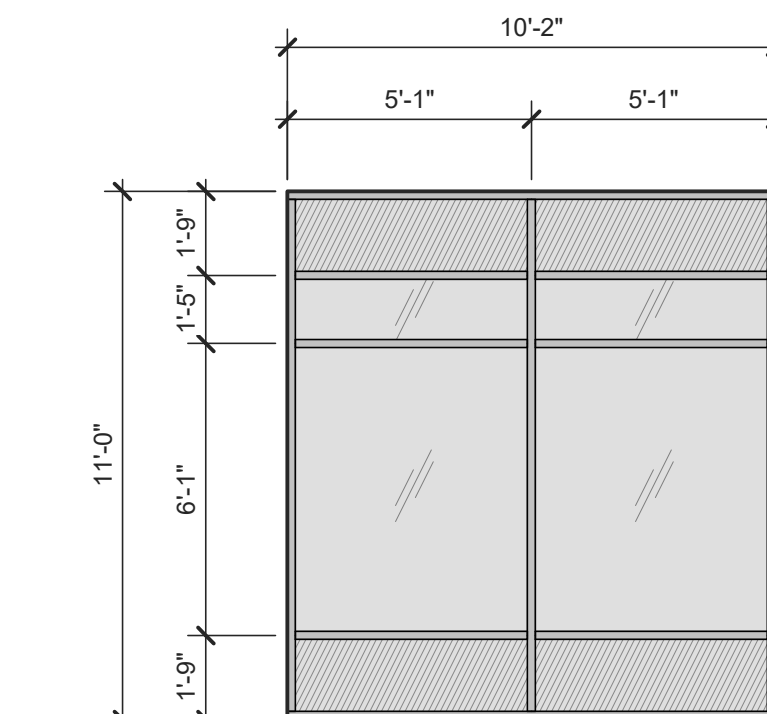
WINDOW TYPE
A



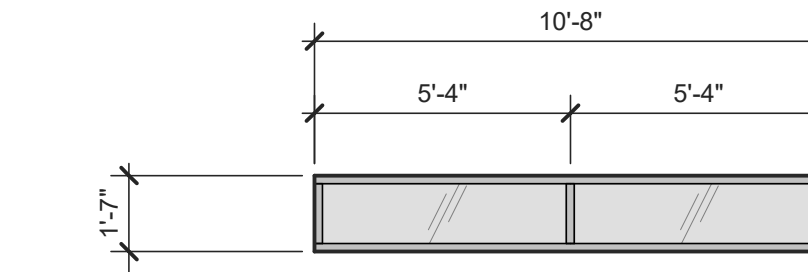
WINDOW TYPE
D



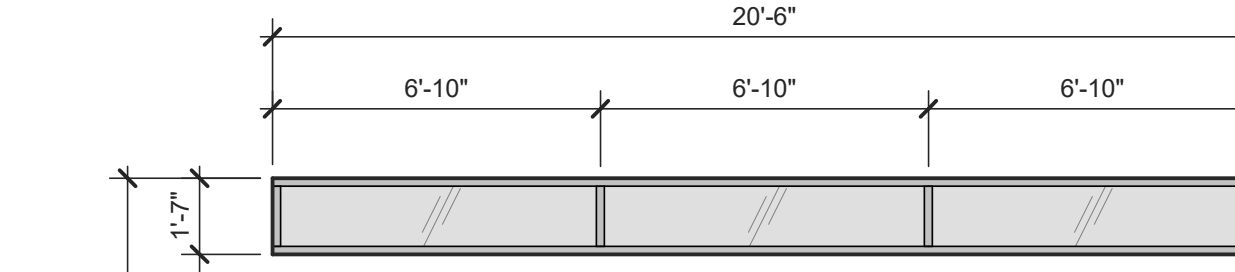
WINDOW TYPE
B



WINDOW TYPE
D



WINDOW TYPE
C



WINDOW TYPE
E

WESTCORE INDUSTRIAL BUILDING
 1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

WINDOW SCHEDULE

REMARKS
 SITE AND DESIGN REVIEW SUBMITTAL

DATE
 12/29/2021

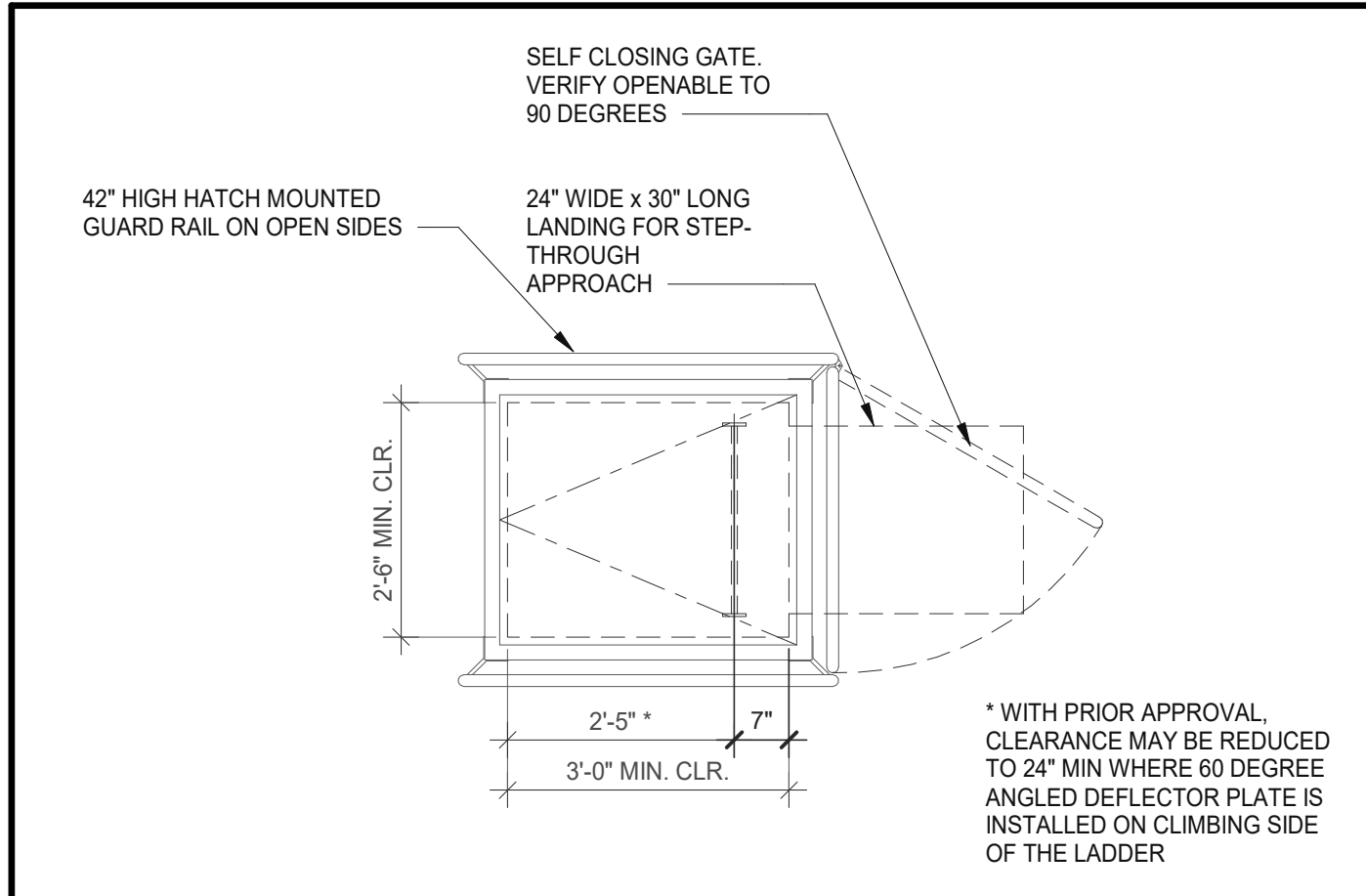
PA/PM: P. KING

DRAWN BY: M.I.E.S.

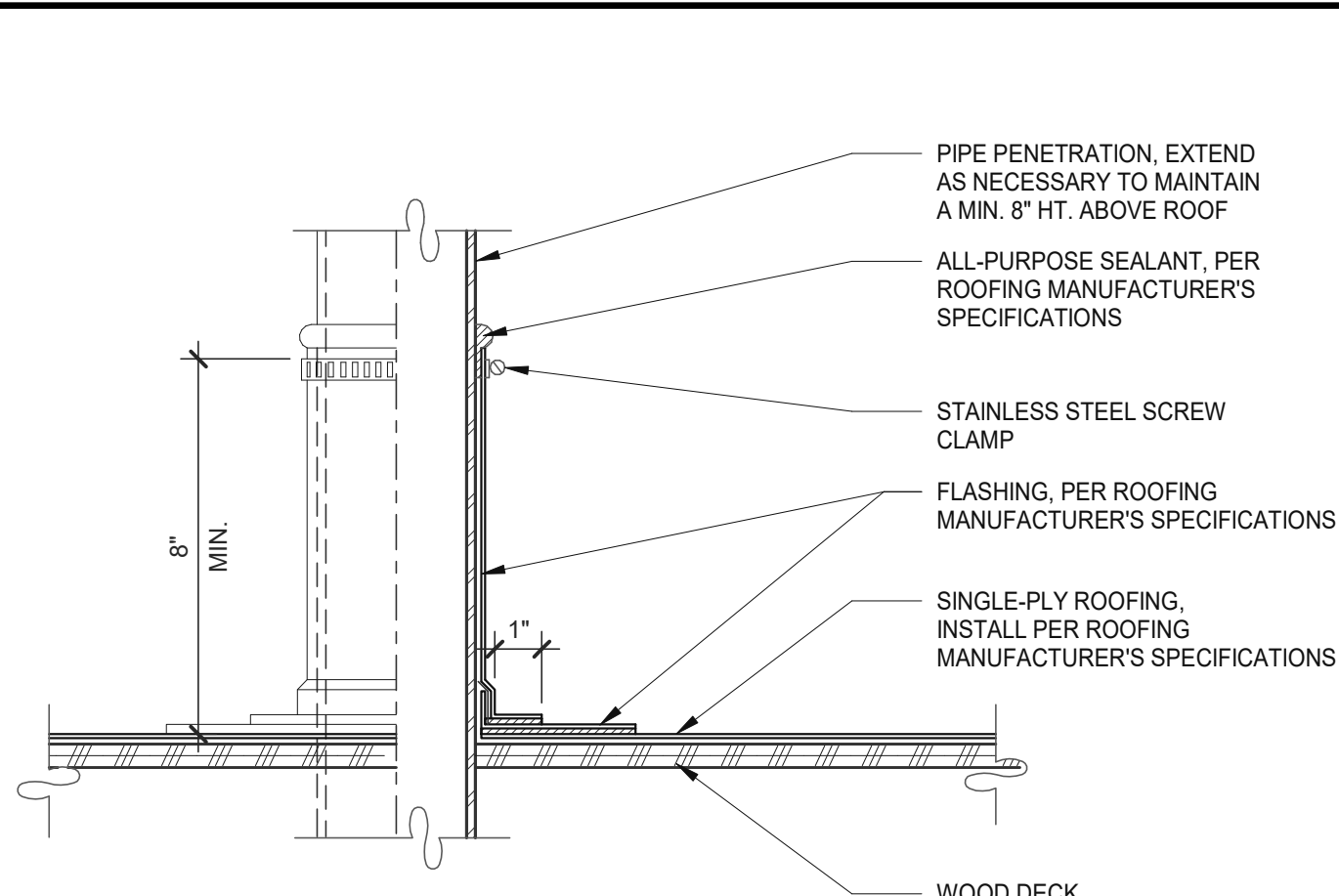
JOB NO.: SNR21-0017-00

SHEET

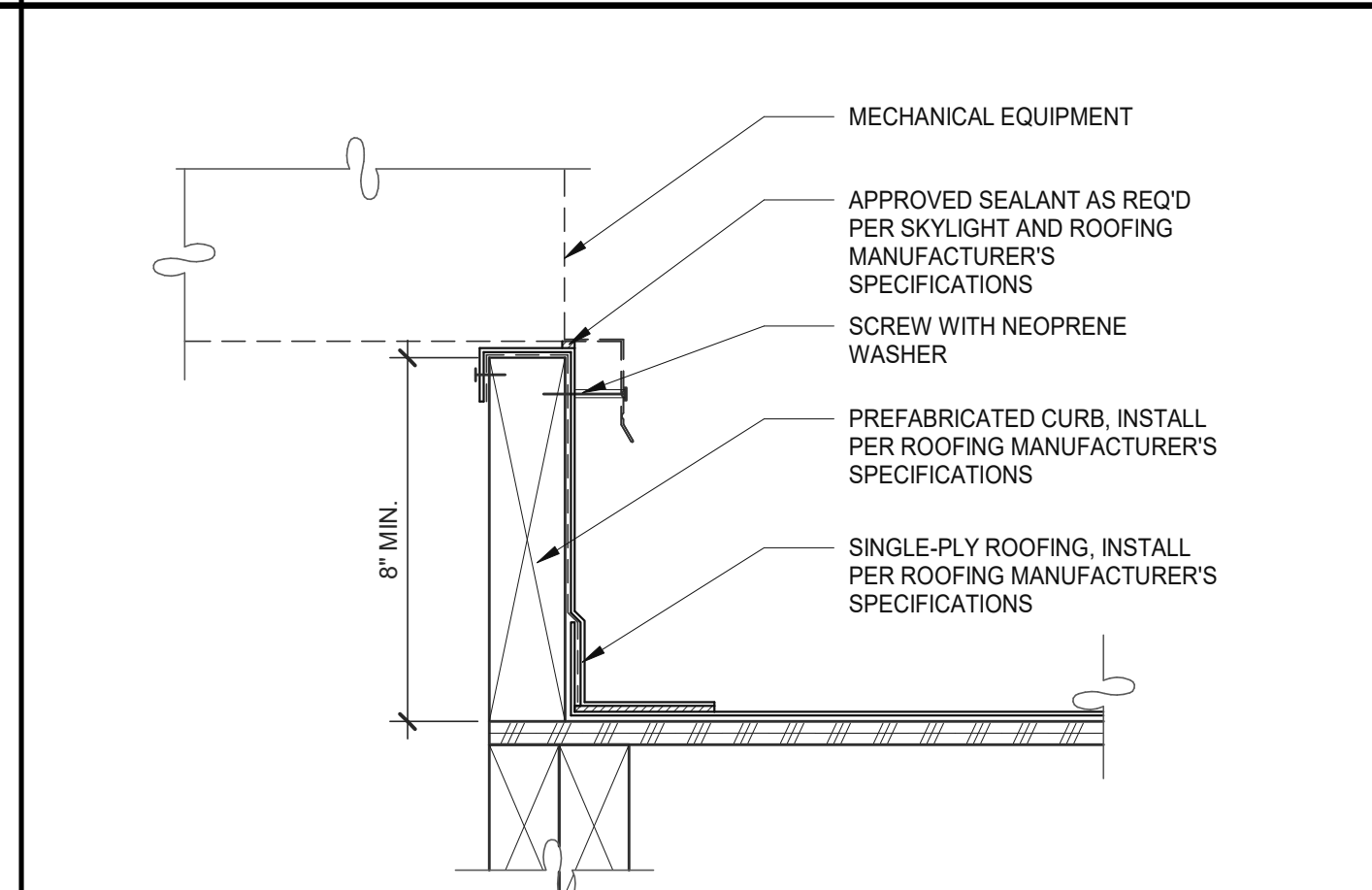
A6.1b



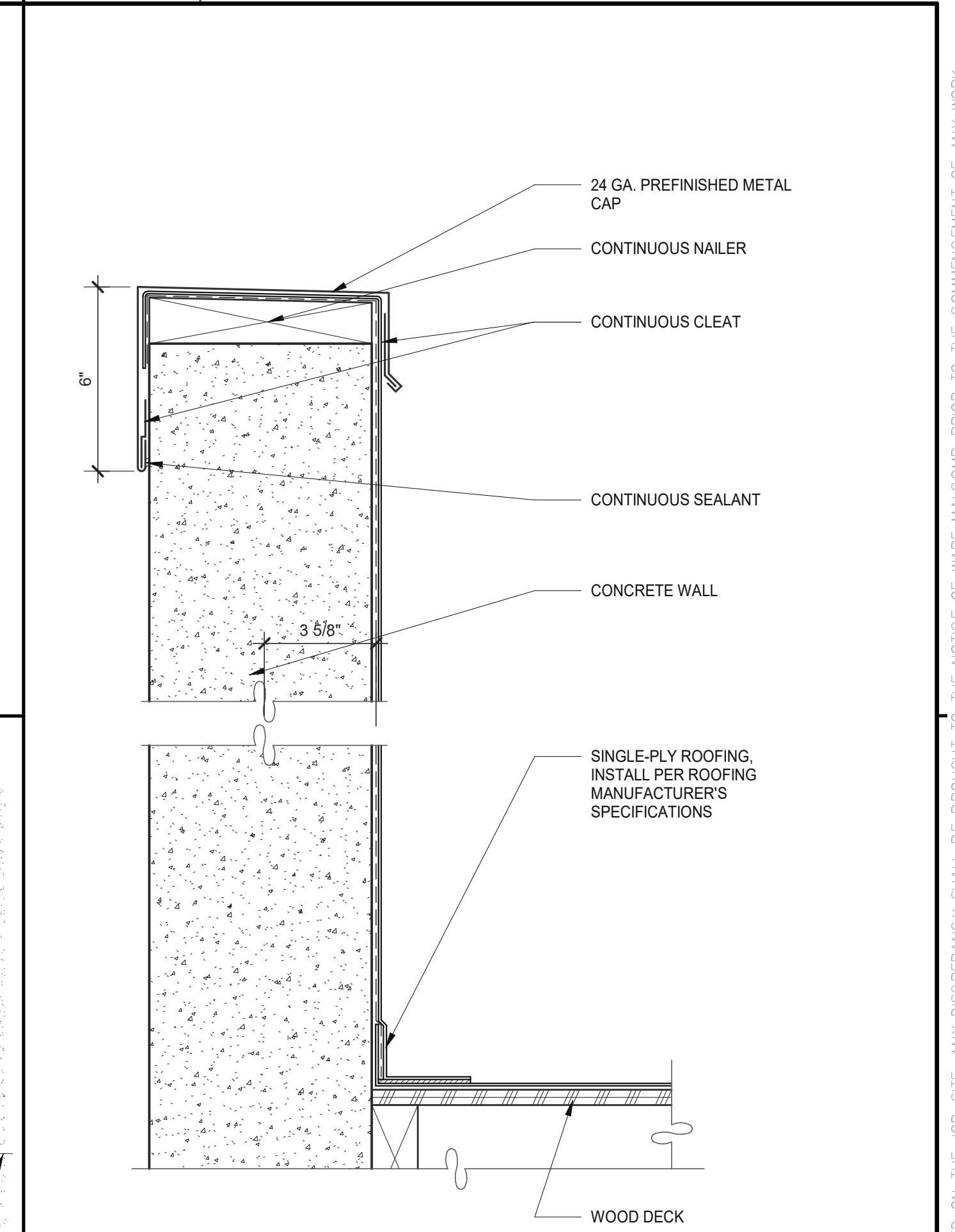
THROUGH-STEP ROOF HATCH PLAN (21) SCALE: 1/2" = 1'-0"



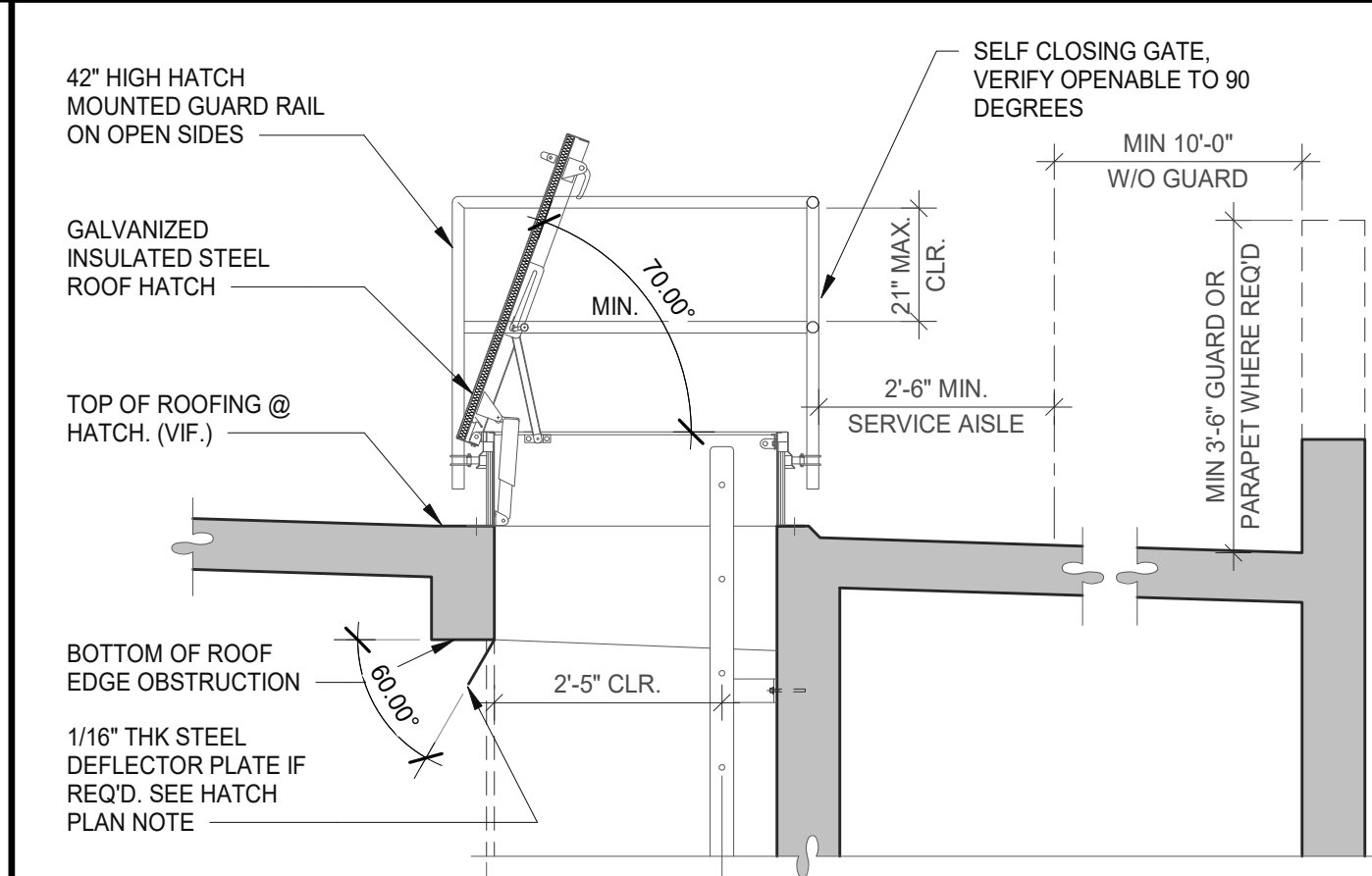
ROOF PENETRATION FLASHING (11) SCALE: 3" = 1'-0"



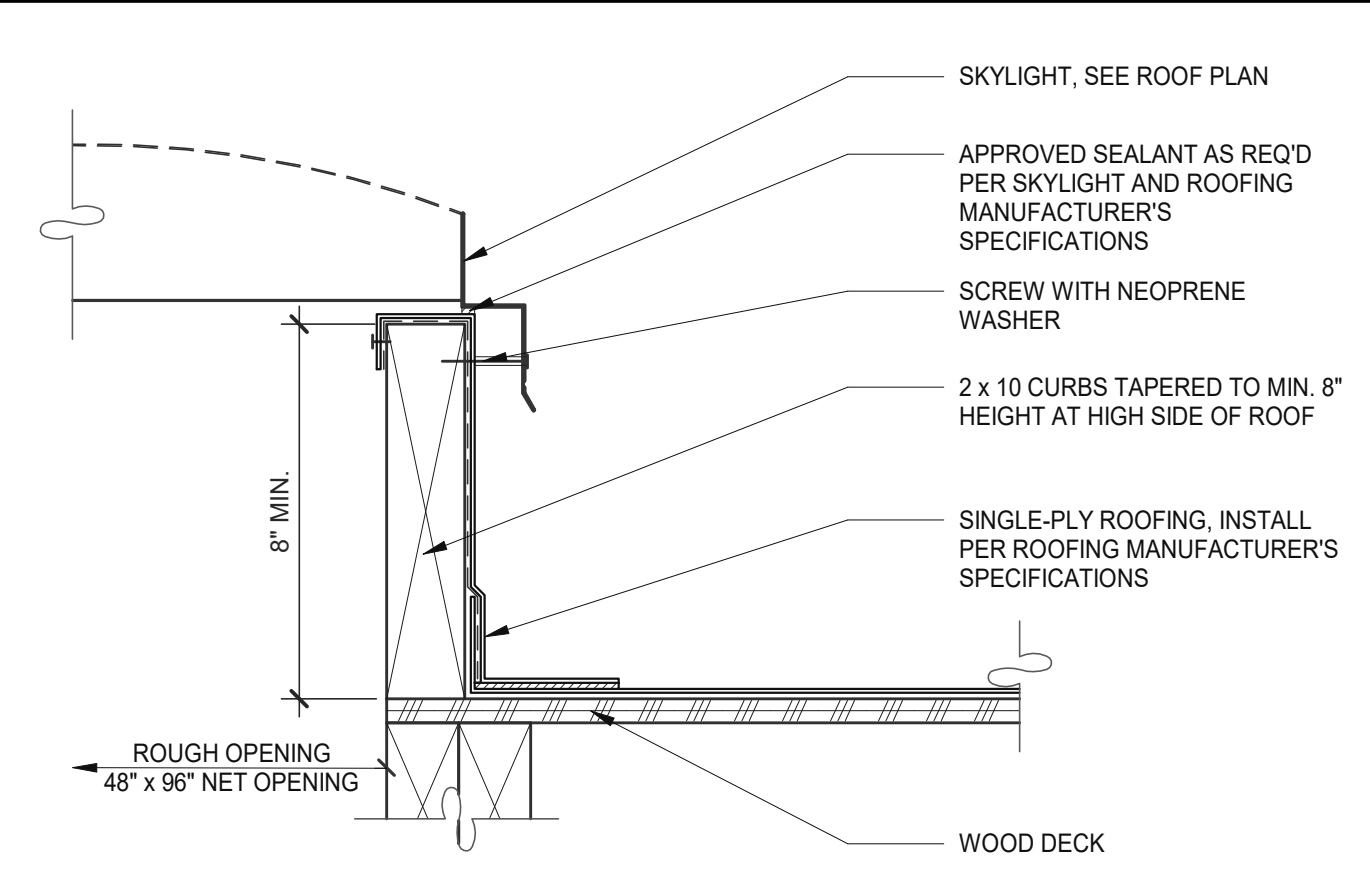
ROOFING @ PREFABRICATED CURB (6) SCALE: 3" = 1'-0"



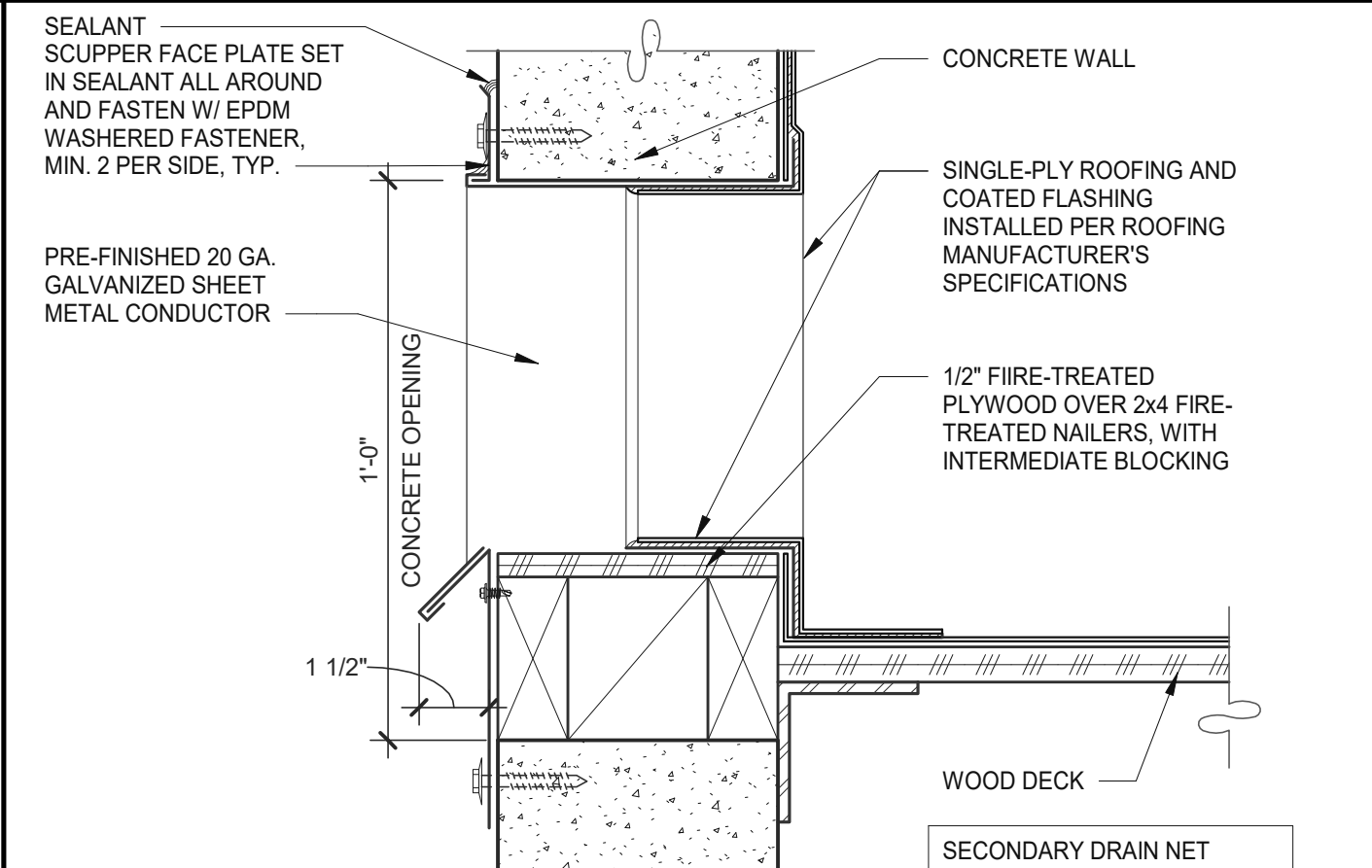
ROOFING @ PARAPET CAP (2) SCALE: 3" = 1'-0"



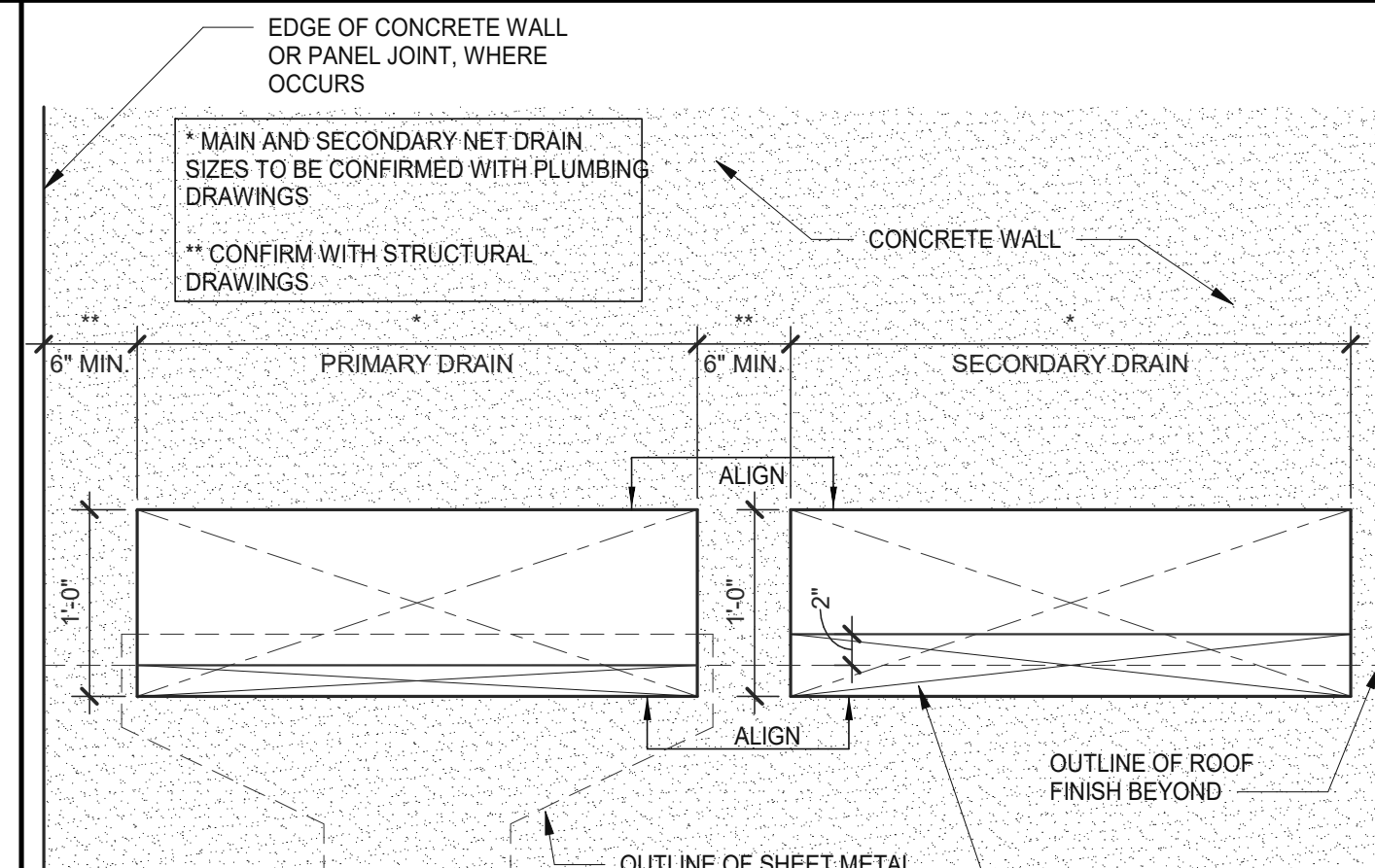
THROUGH-STEP HATCH SECTION (22) SCALE: 1/2" = 1'-0"



CURB MOUNTED SKYLIGHT (17) SCALE: 3" = 1'-0"

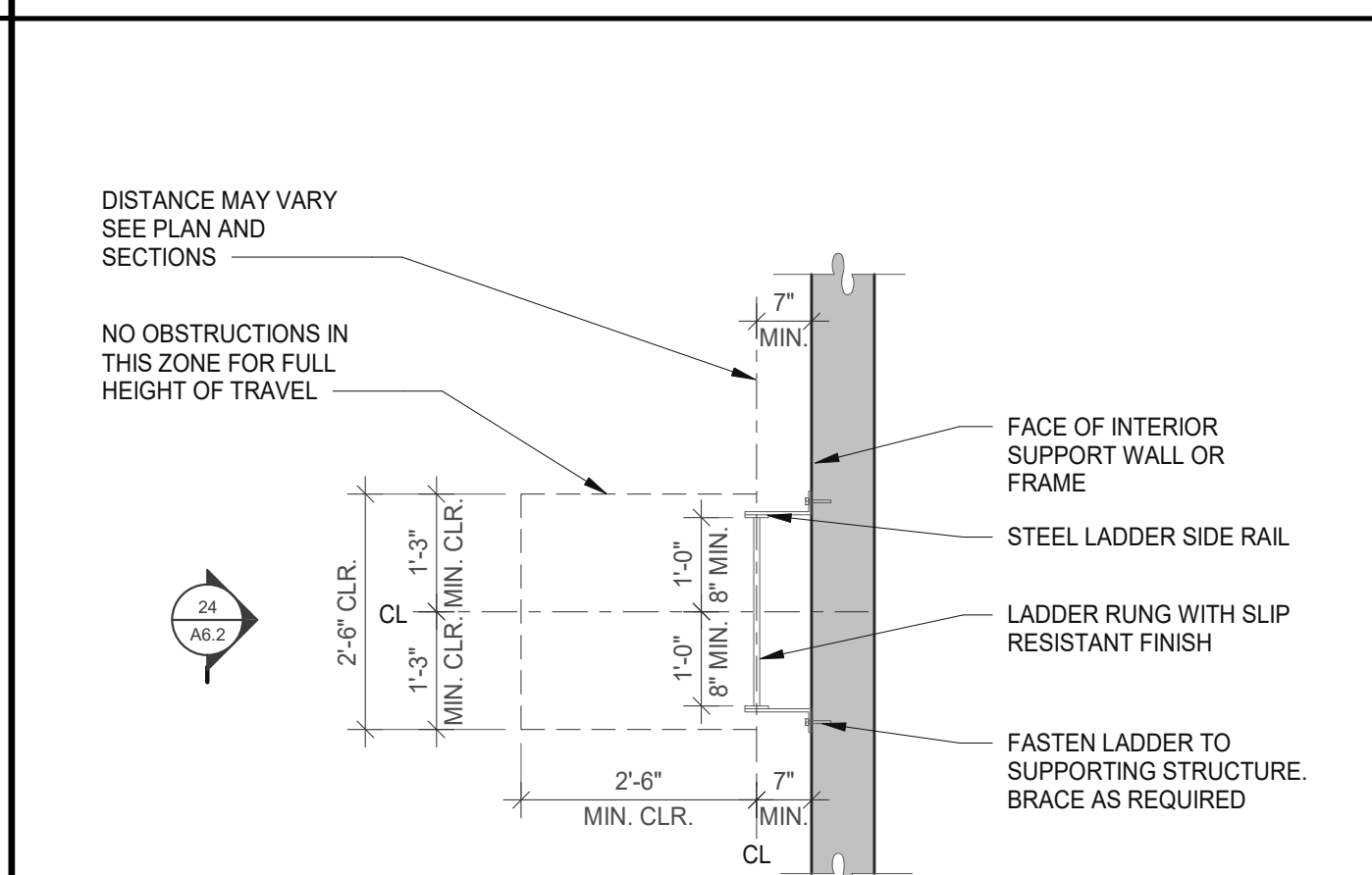


SECONDARY DRAIN AT CONC. WALL (12) SCALE: 3" = 1'-0"

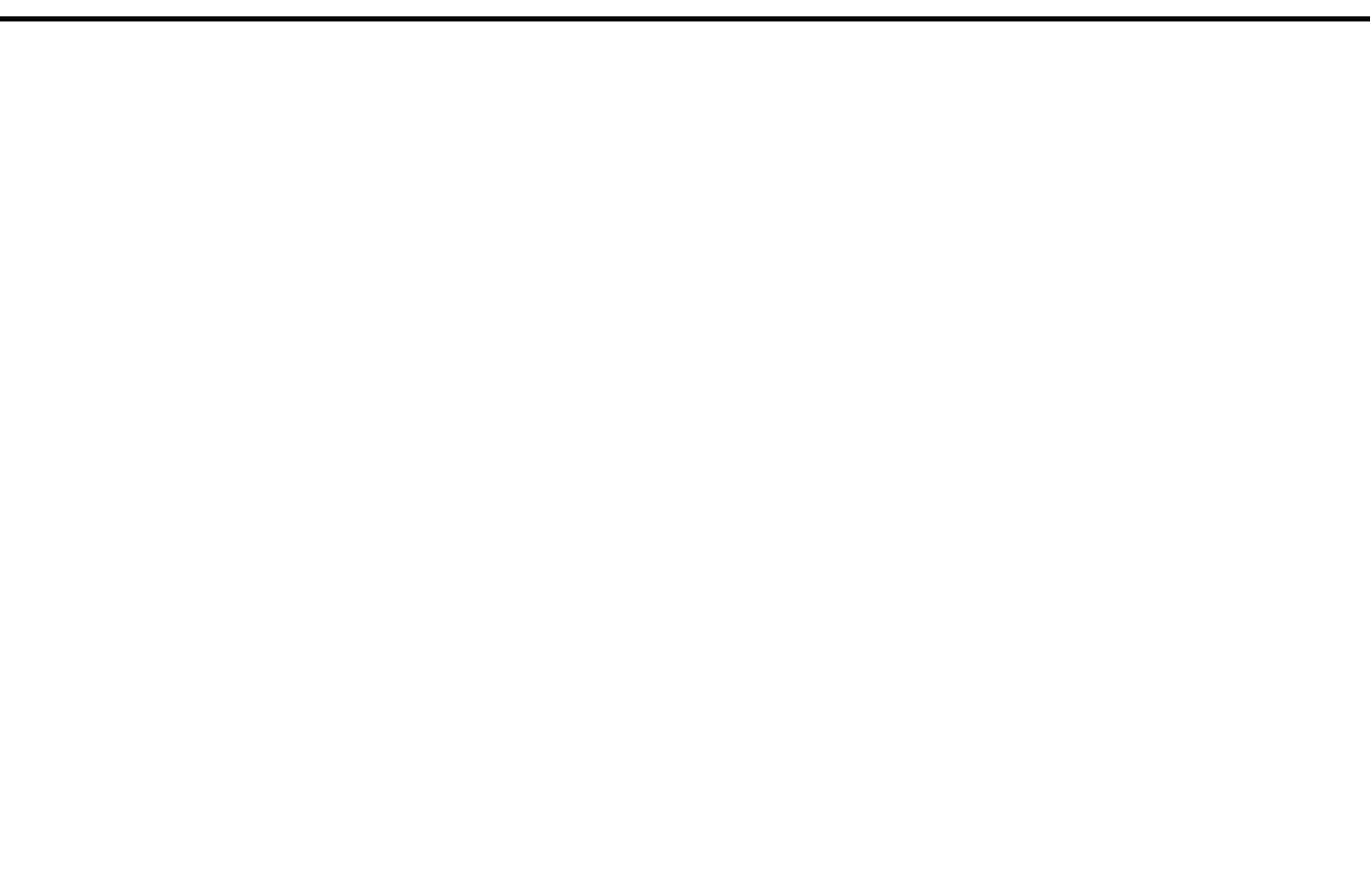


ROOF DRAINAGE (7) SCALE: 1" = 1'-0"

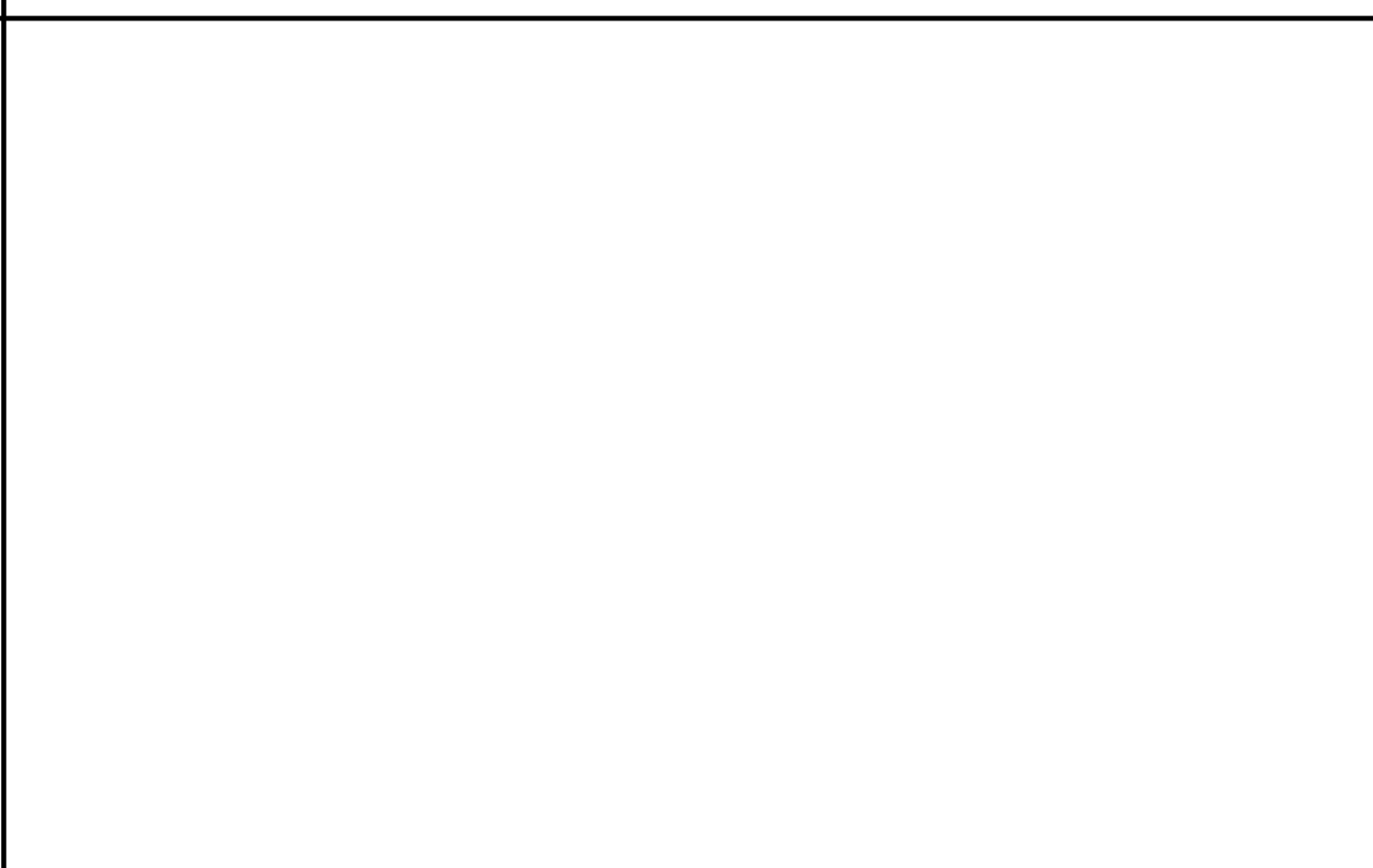
ROOFING @ PARAPET CAP (2) SCALE: 3" = 1'-0"



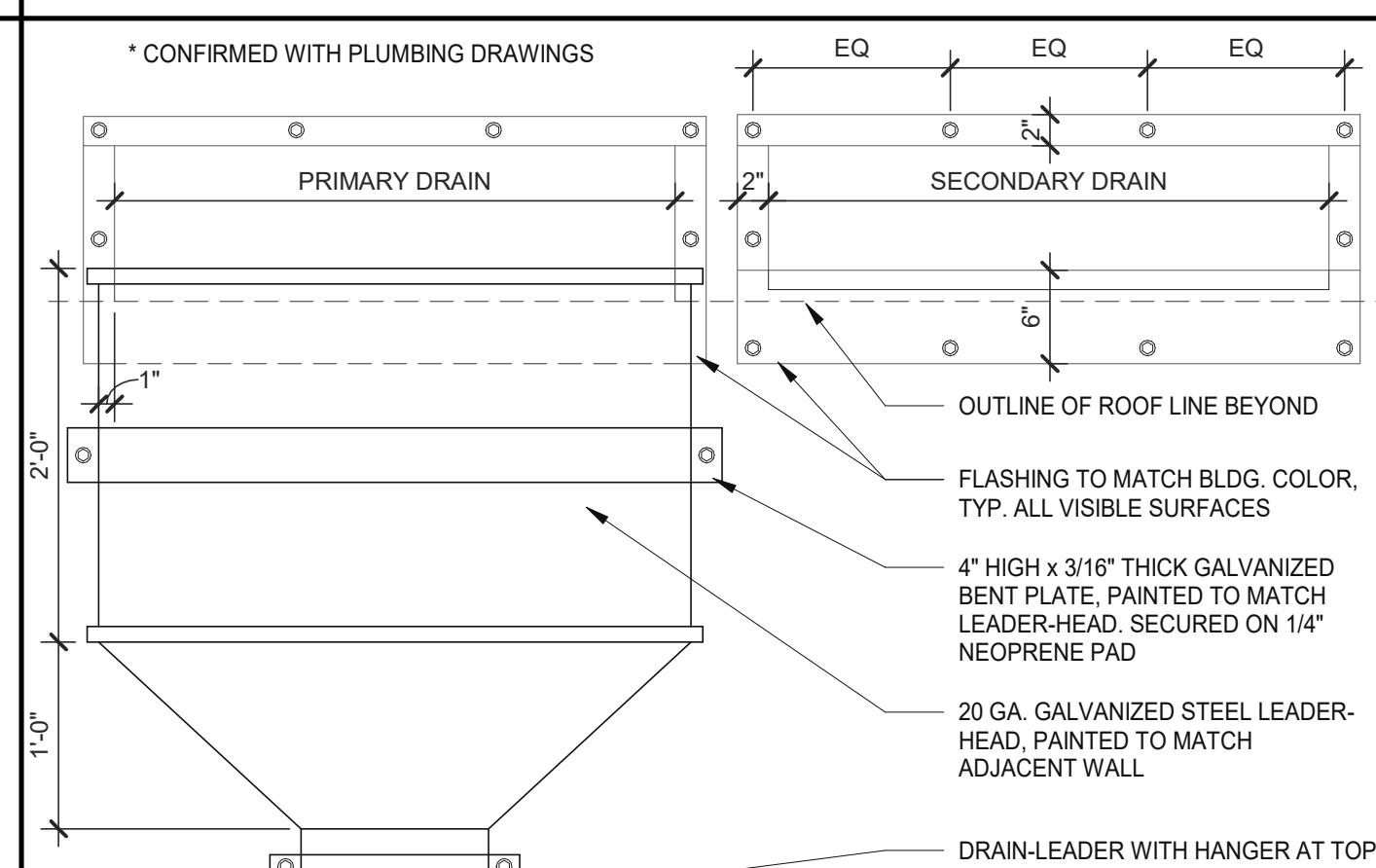
THROUGH-STEP LADDER PLAN (23) SCALE: 1/2" = 1'-0"



CURB MOUNTED SKYLIGHT (17) SCALE: 3" = 1'-0"

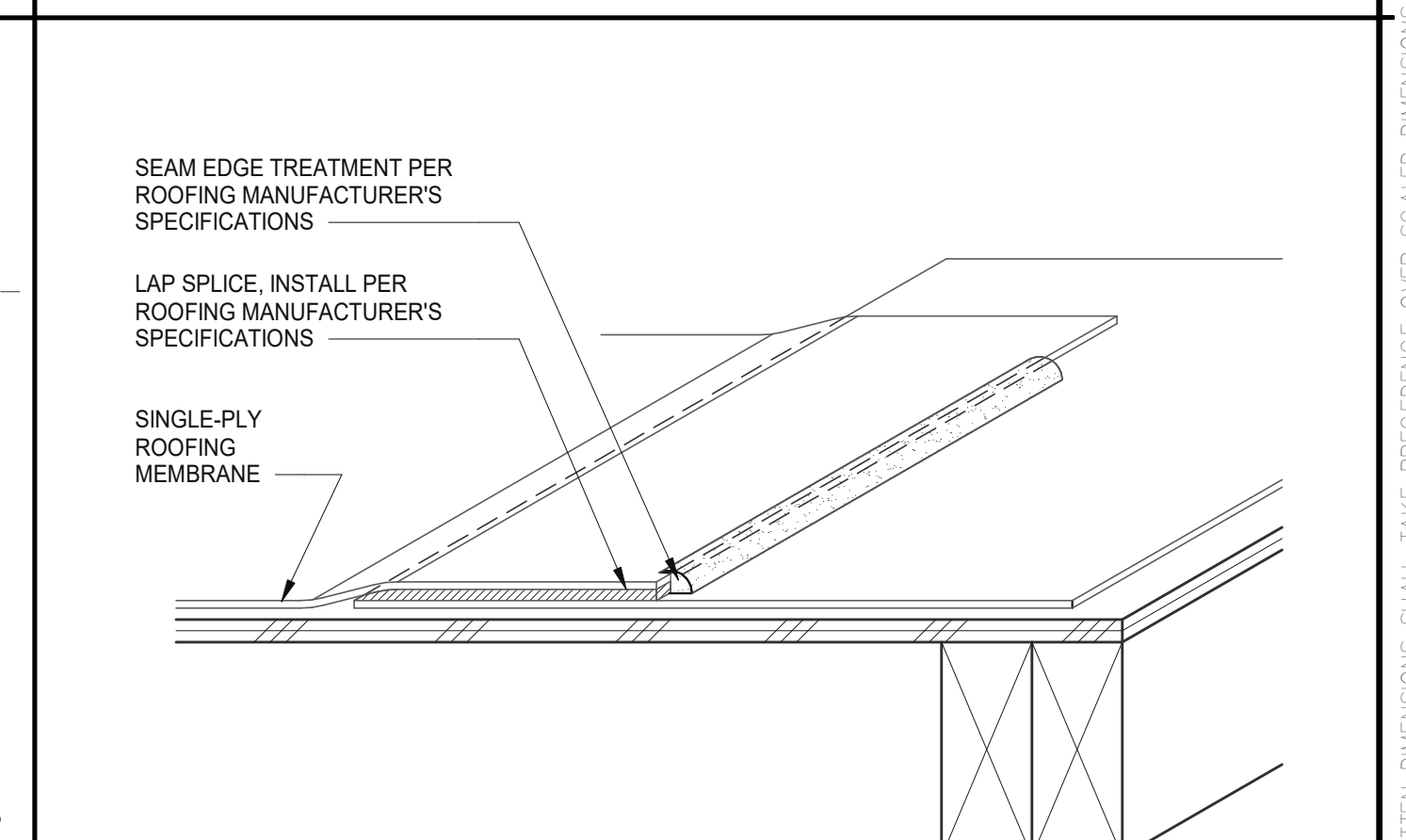


SECONDARY DRAIN AT CONC. WALL (12) SCALE: 3" = 1'-0"

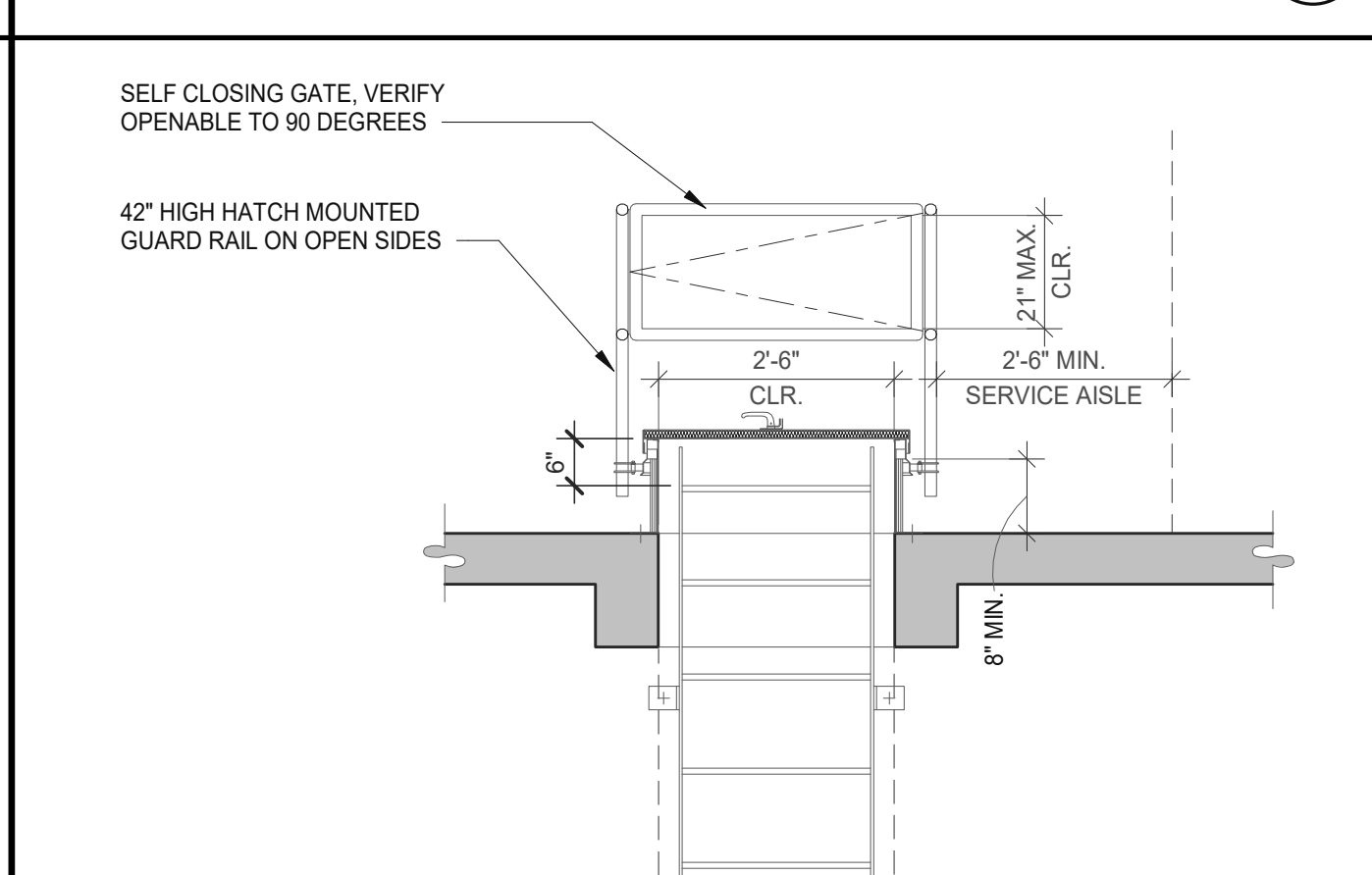


ROOF DRAINAGE (8) SCALE: 1" = 1'-0"

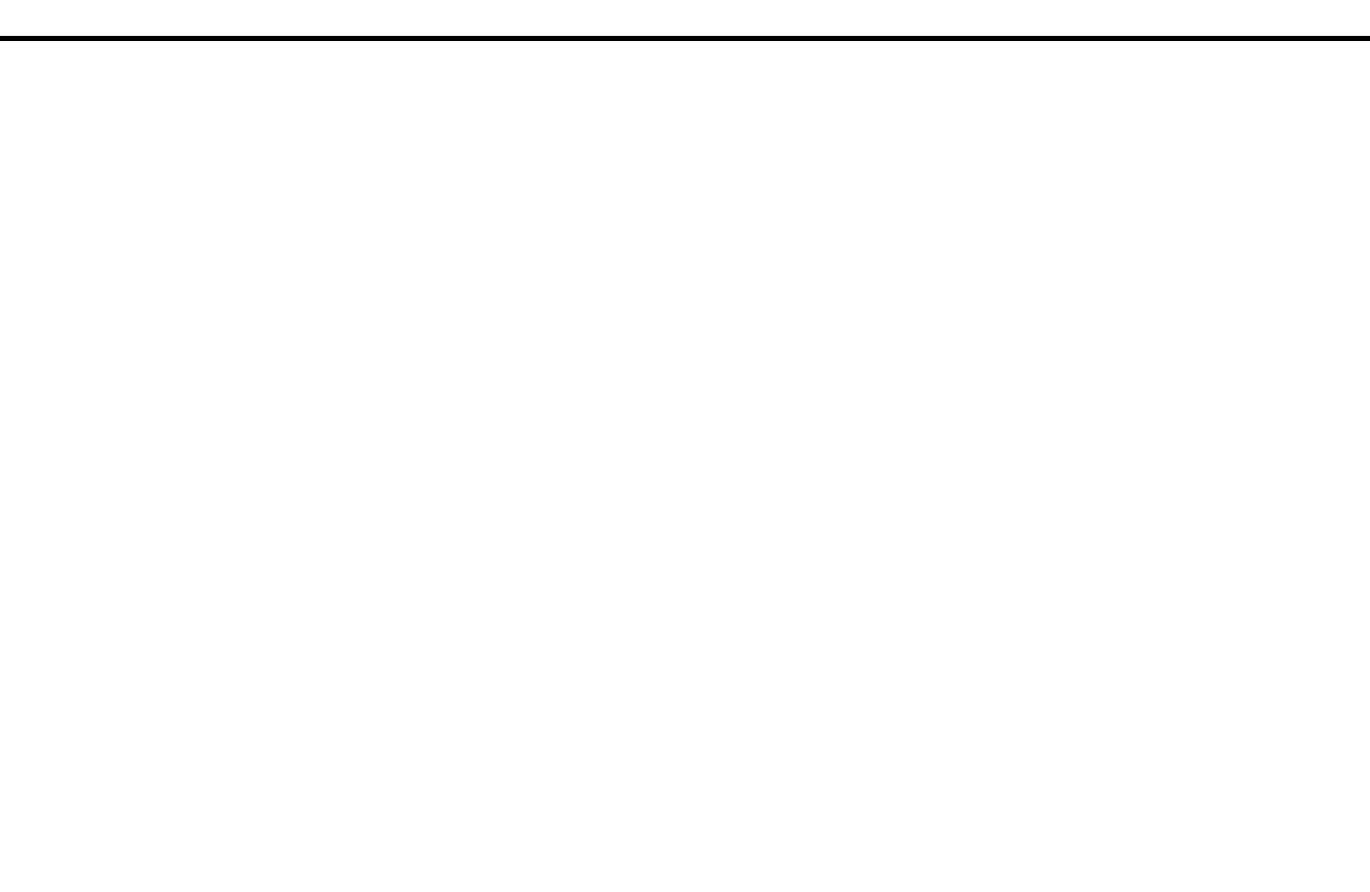
ROOFING @ PARAPET CAP (2) SCALE: 3" = 1'-0"



SINGLE-PLY ROOFING SYSTEM (3) SCALE: 12" = 1'-0"



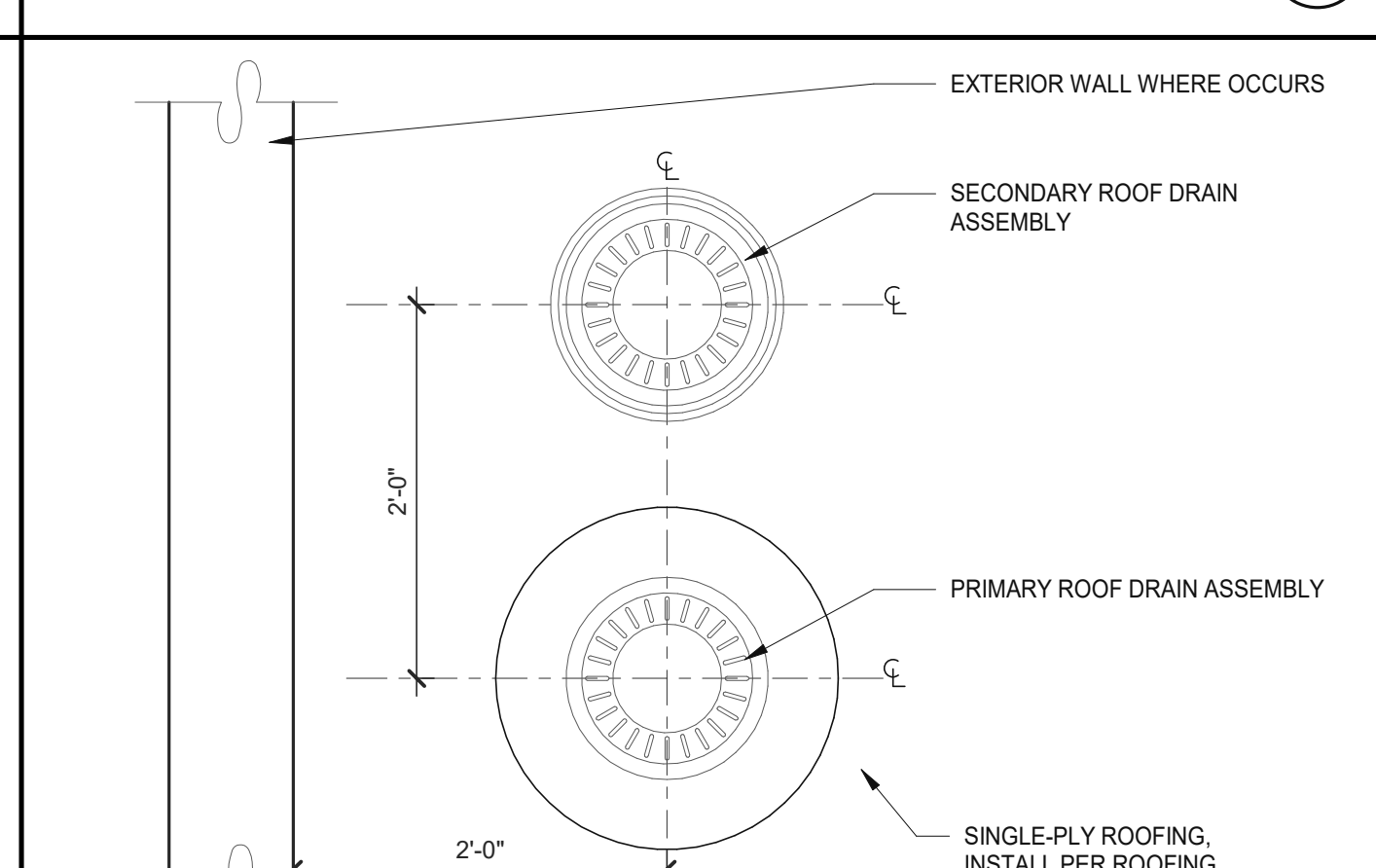
THROUGH-STEP HATCH ELEV. (24) SCALE: 1/2" = 1'-0"



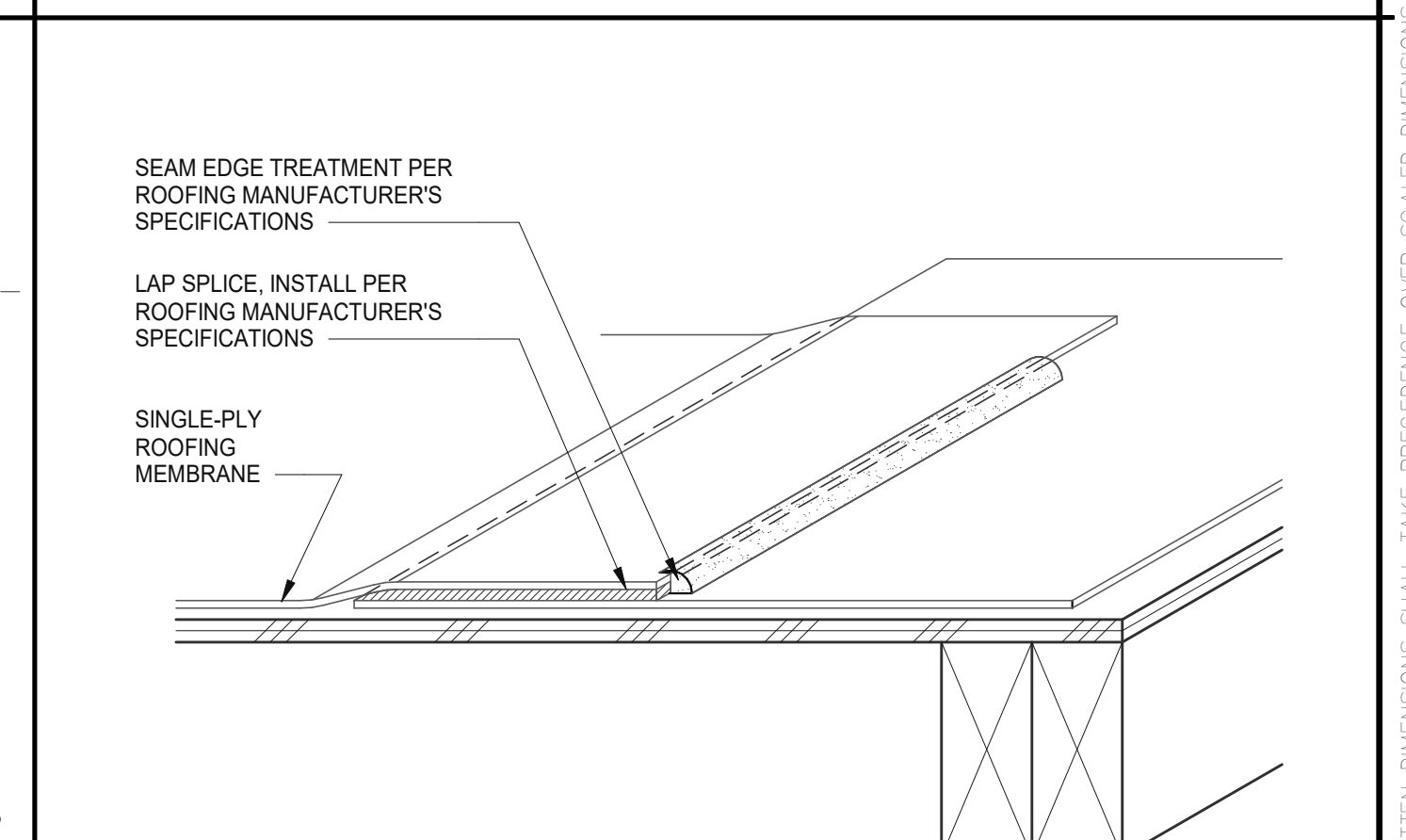
CURB MOUNTED SKYLIGHT (17) SCALE: 3" = 1'-0"



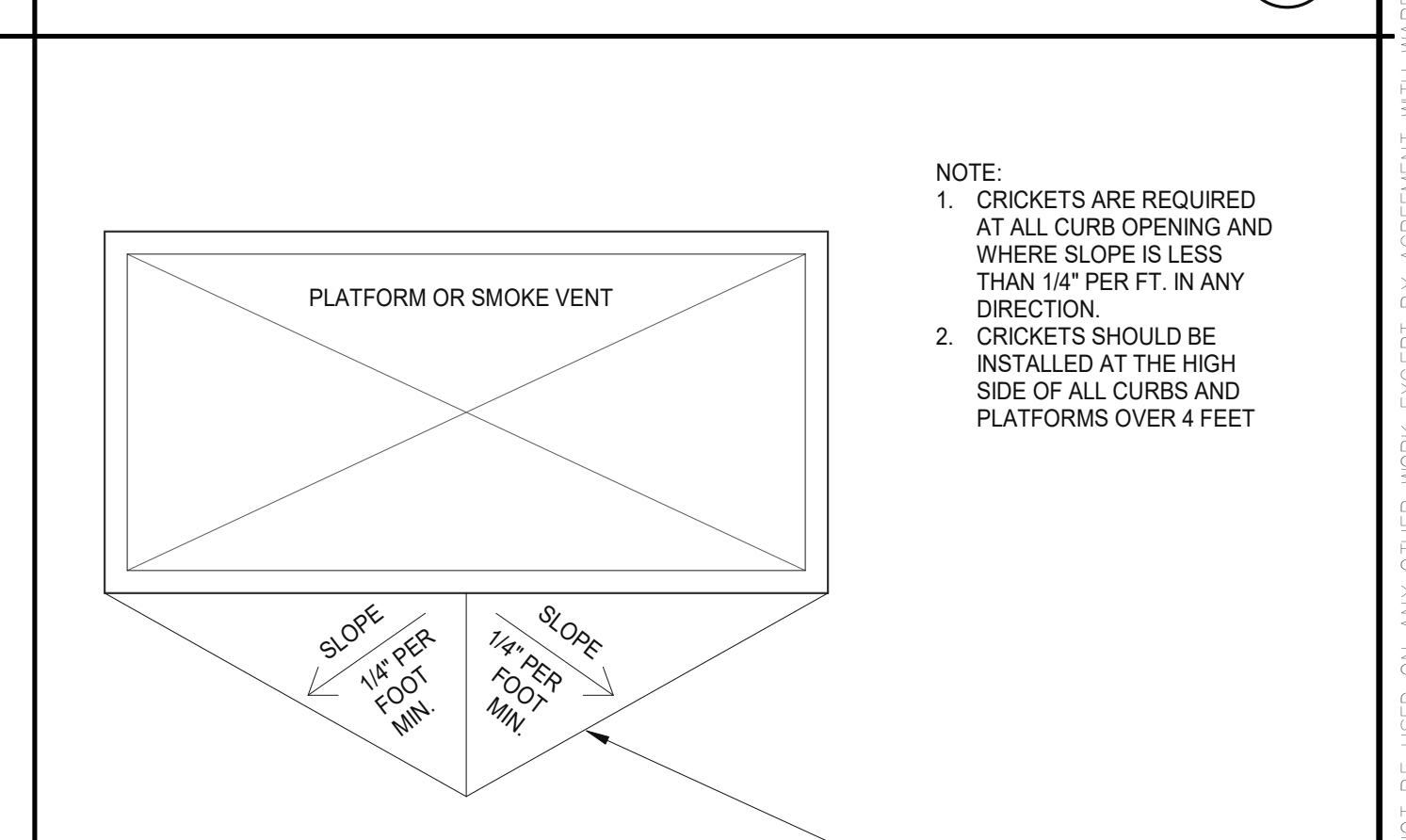
PRIMARY & SECONDARY DRAINS (9) SCALE: 1" = 1'-0"



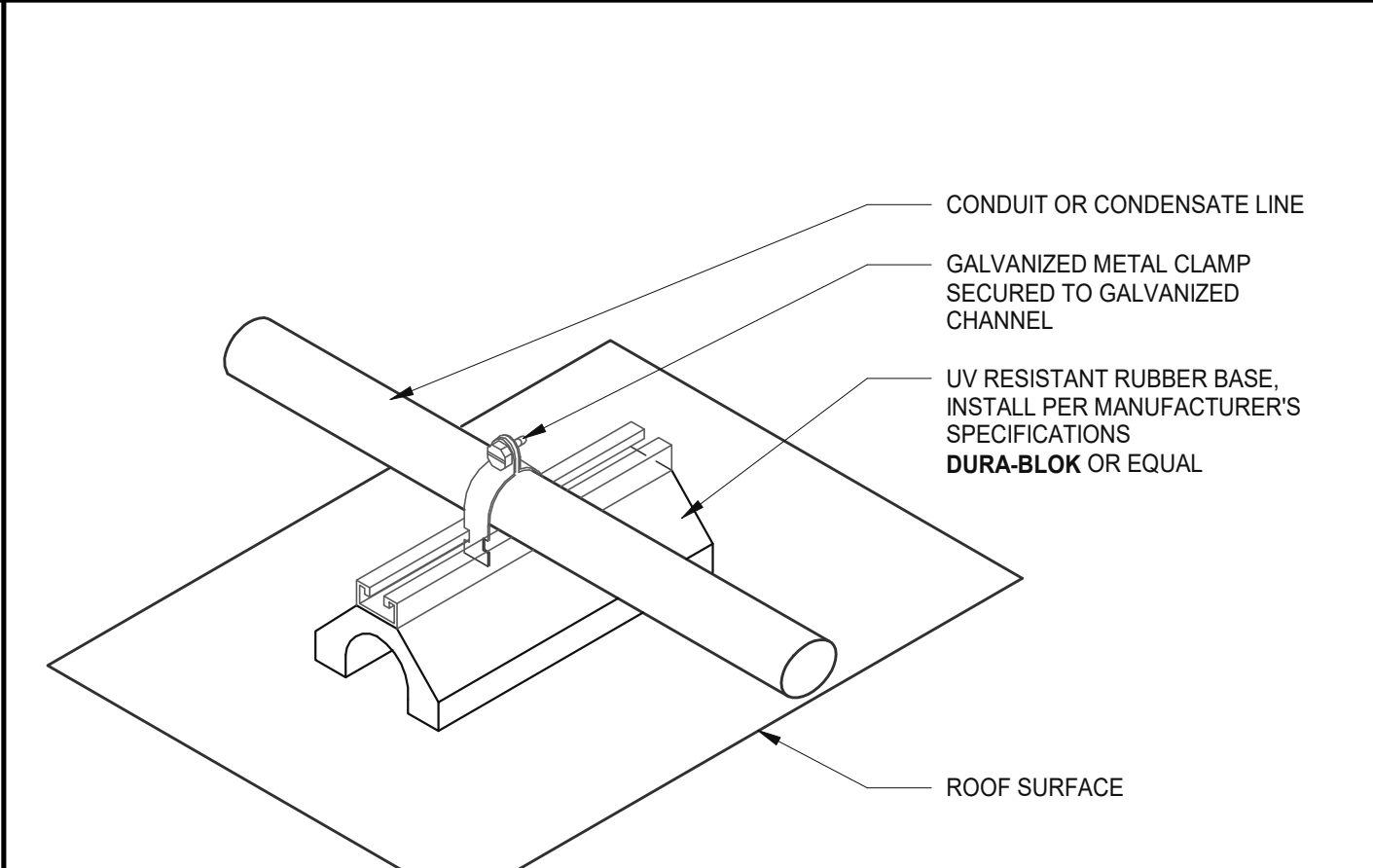
PRIMARY & SECONDARY DRAINS (9) SCALE: 1" = 1'-0"



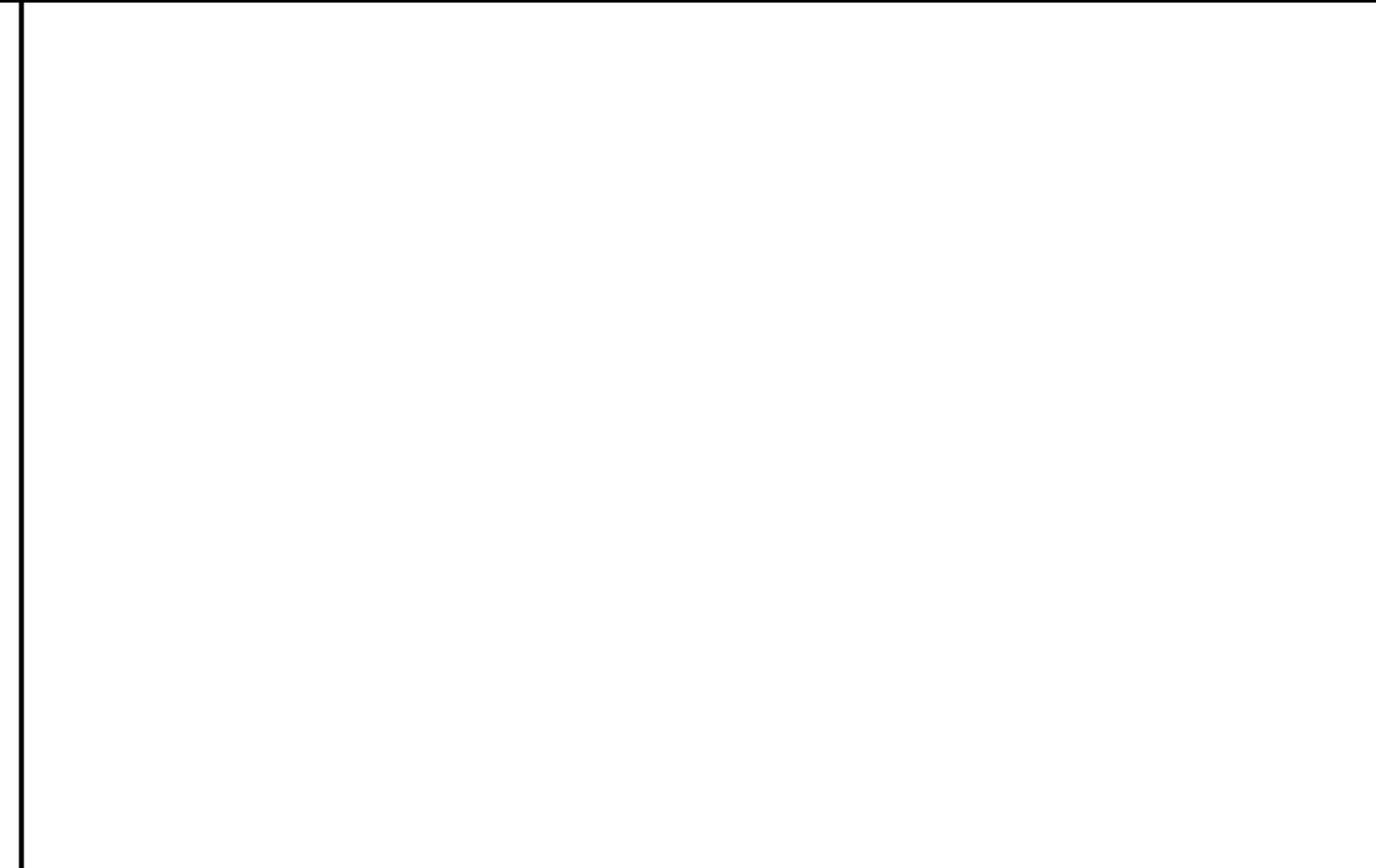
SINGLE-PLY ROOFING SYSTEM (3) SCALE: 12" = 1'-0"



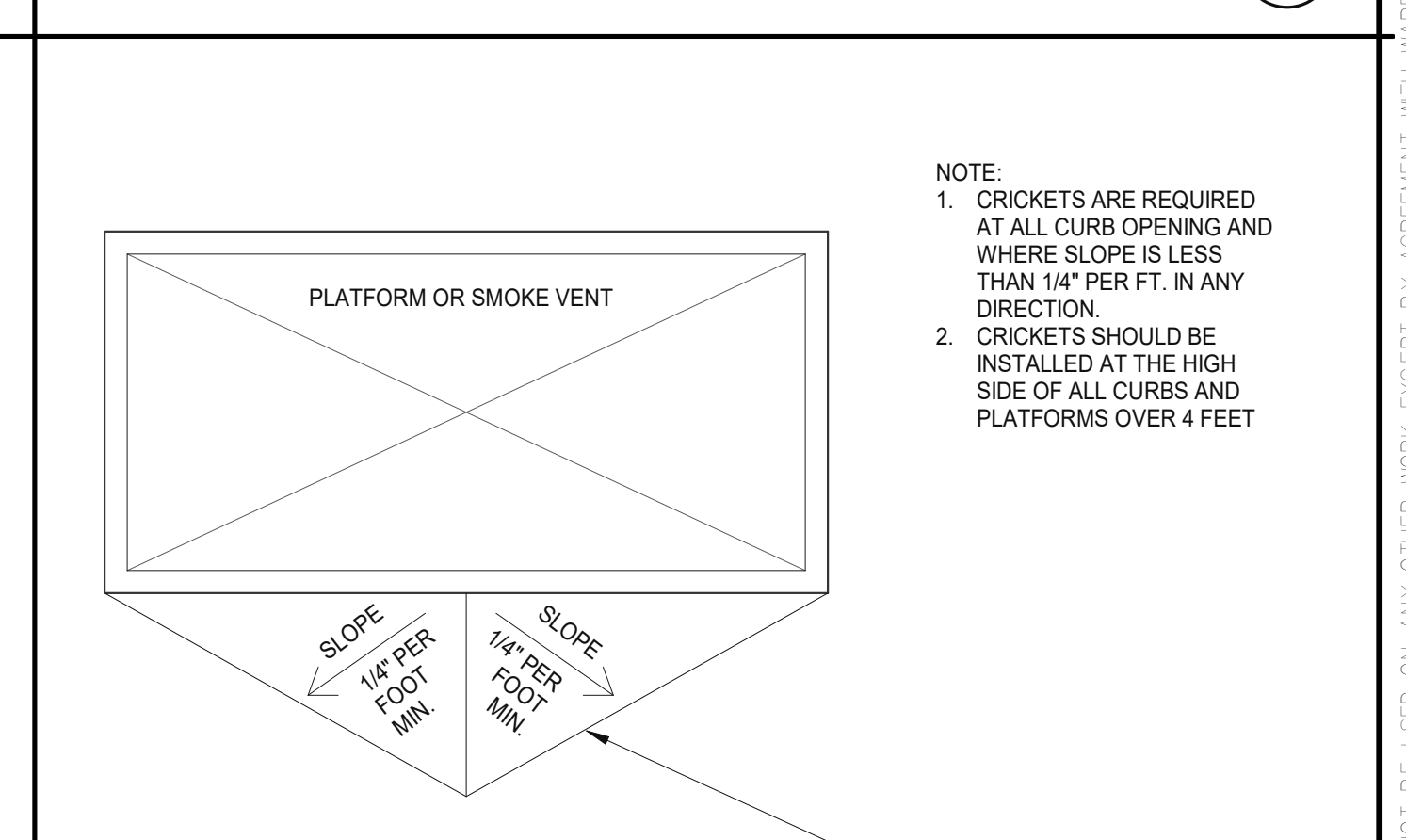
CRICKET (4) SCALE: 1/2" = 1'-0"



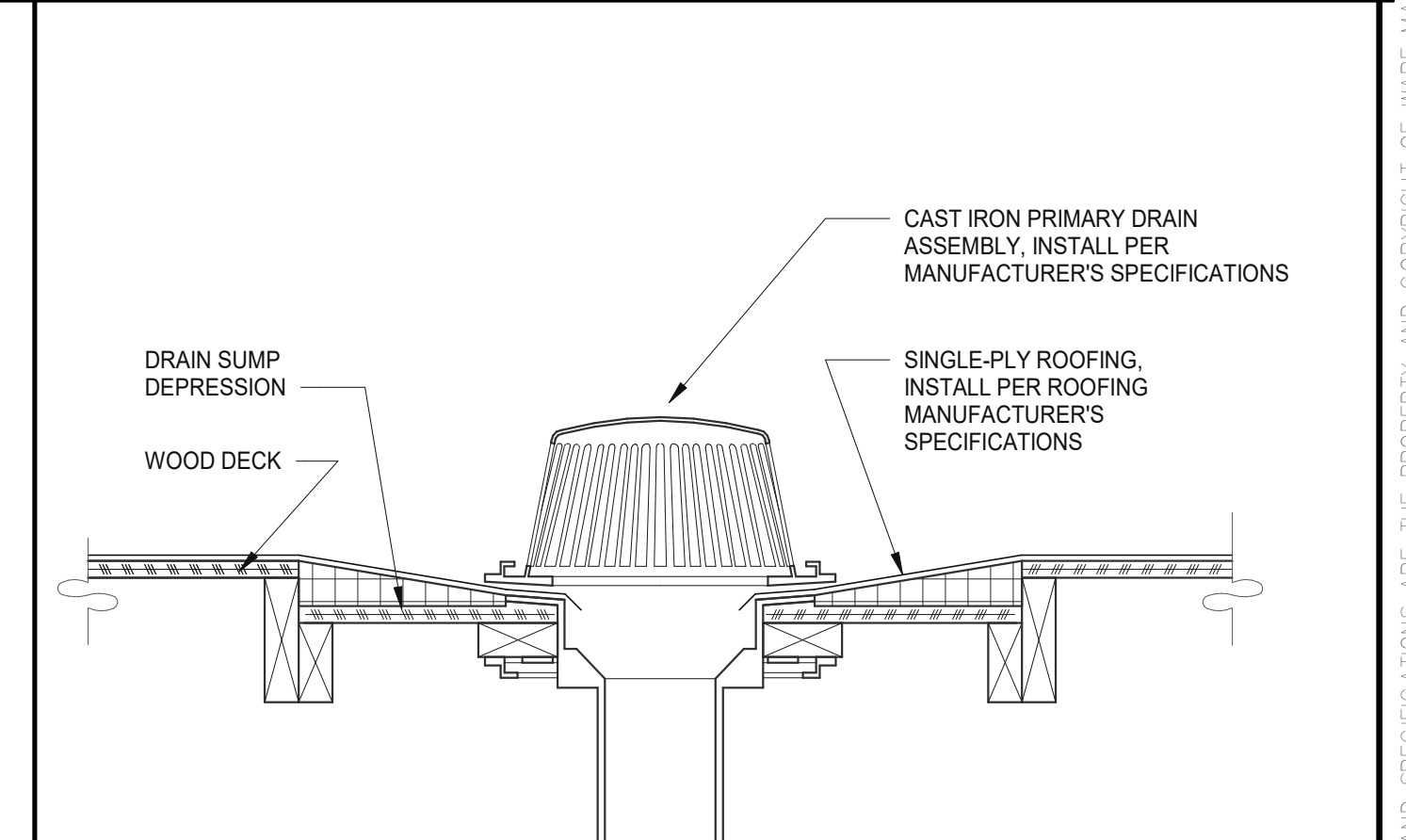
ROOF PIPE SUPPORT (15) SCALE: 12" = 1'-0"



PRIMARY INTERNAL DRAIN (5) SCALE: 1 1/2" = 1'-0"



CRICKET (4) SCALE: 1/2" = 1'-0"



PRIMARY INTERNAL DRAIN (5) SCALE: 1 1/2" = 1'-0"

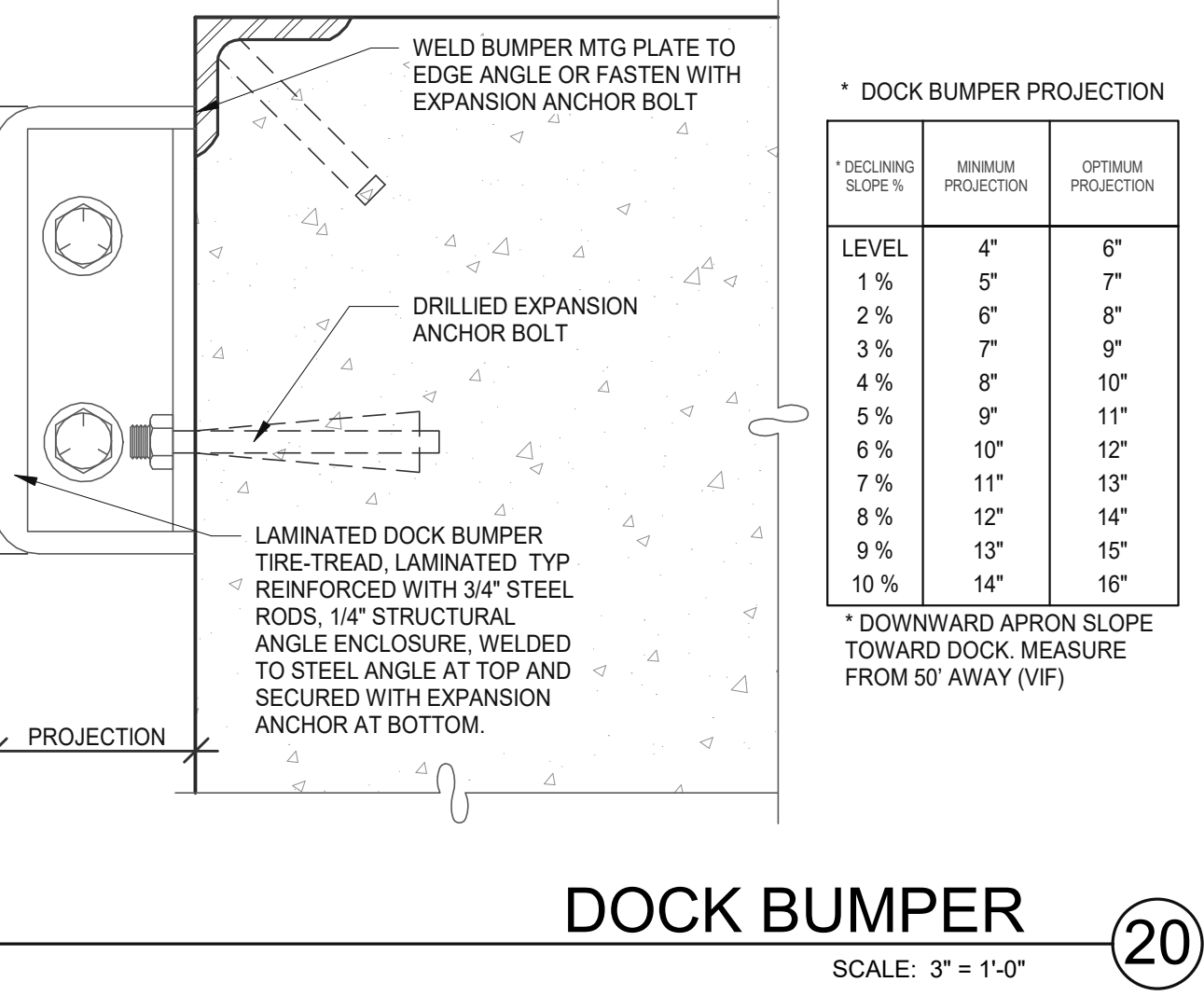
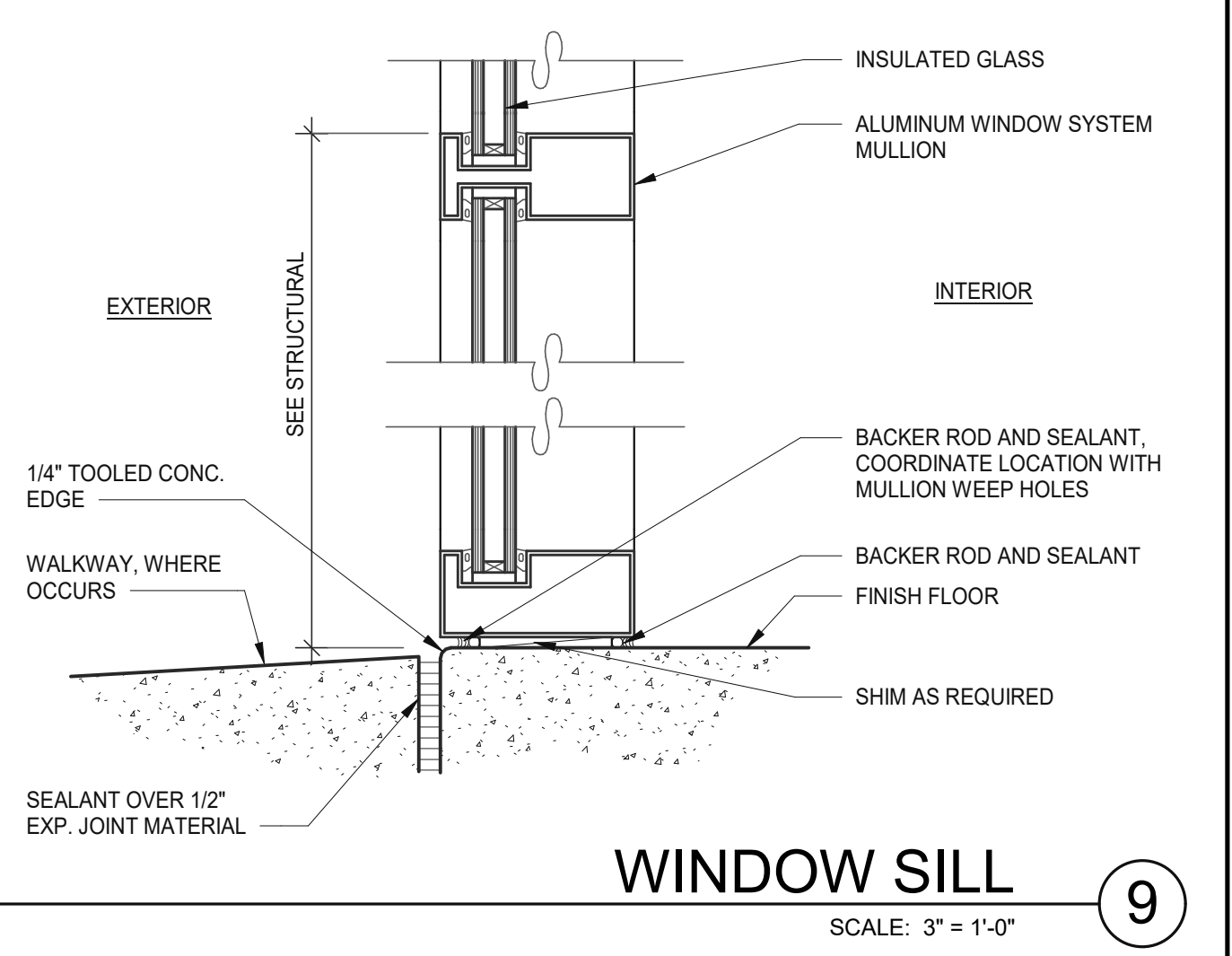
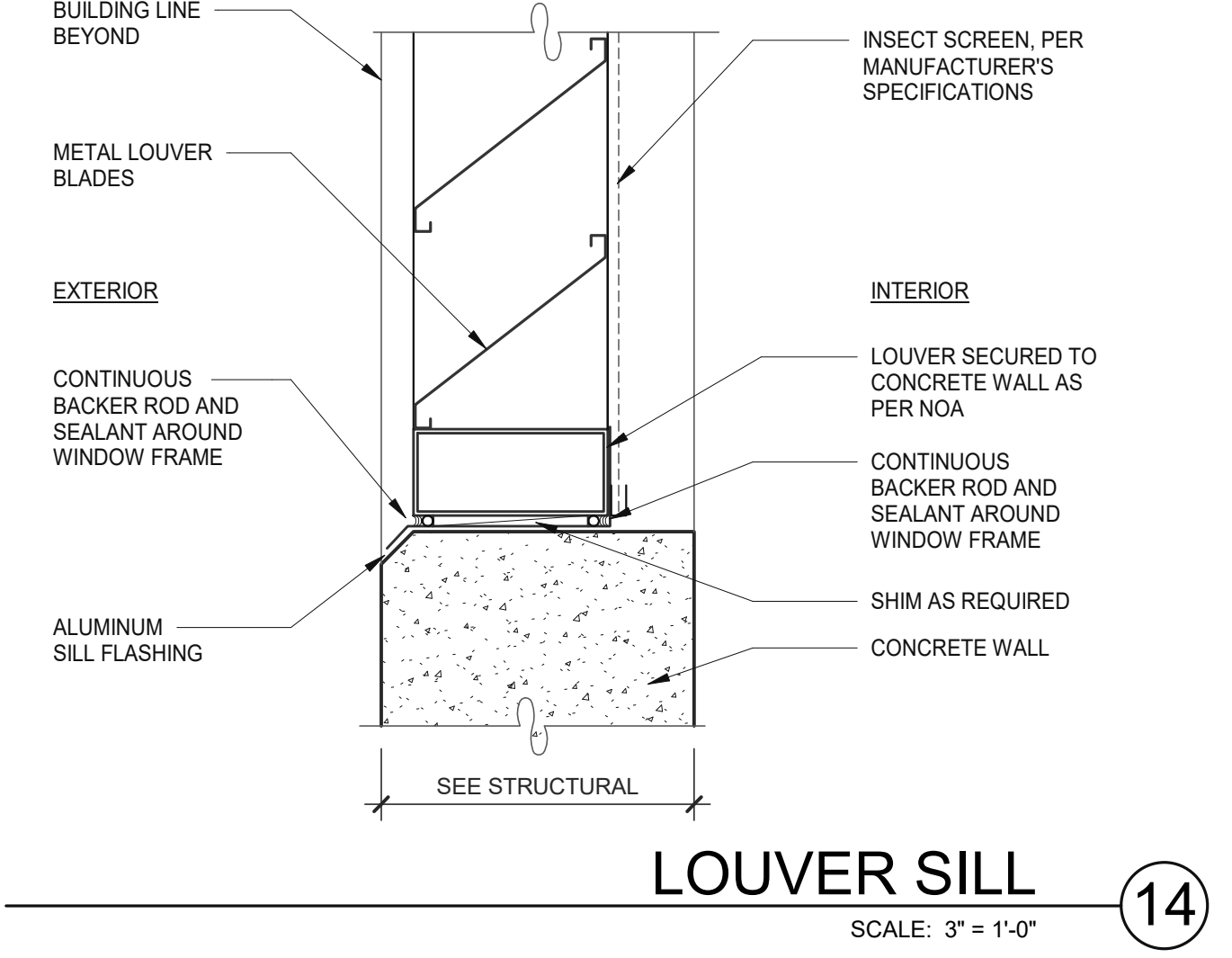
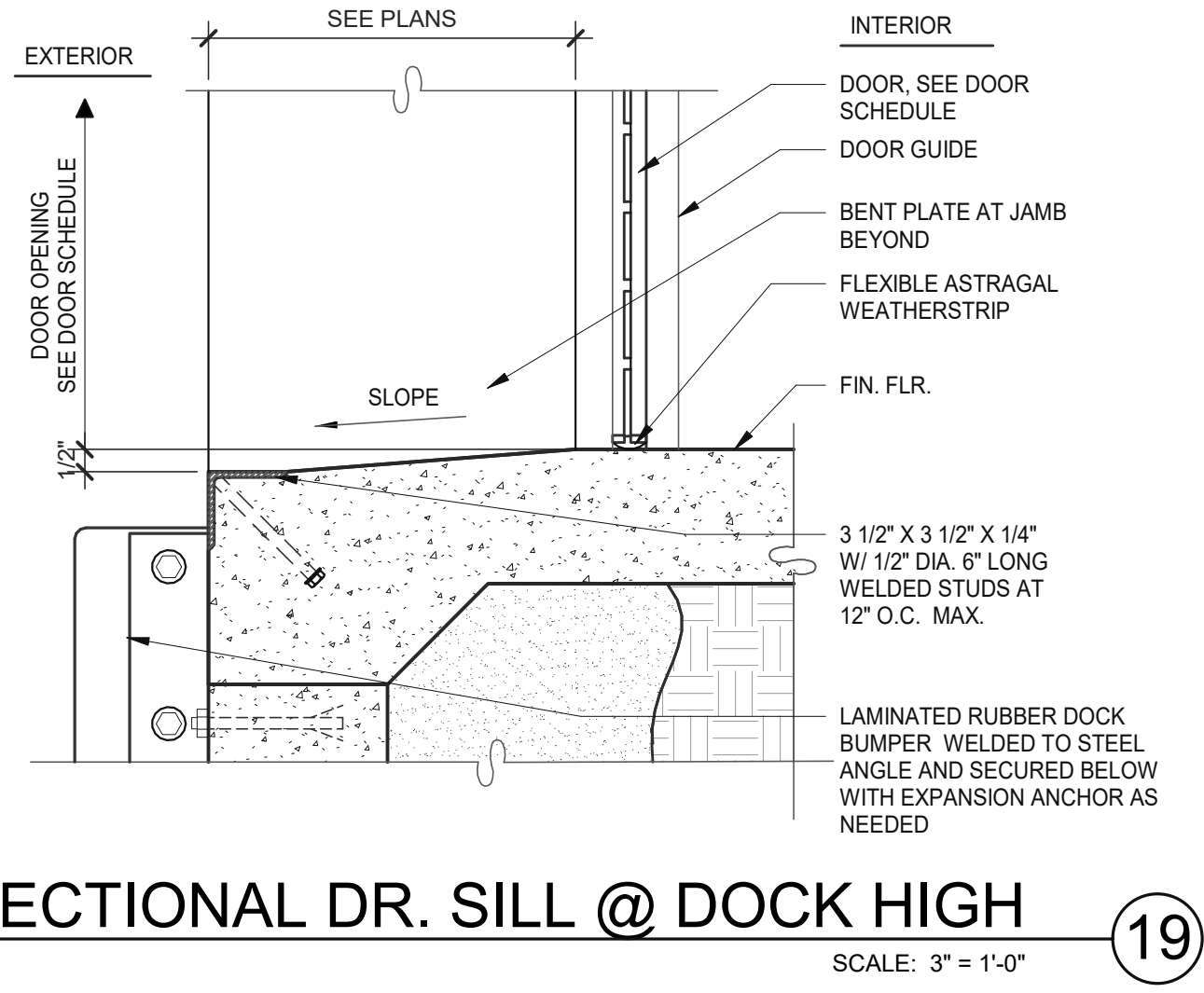
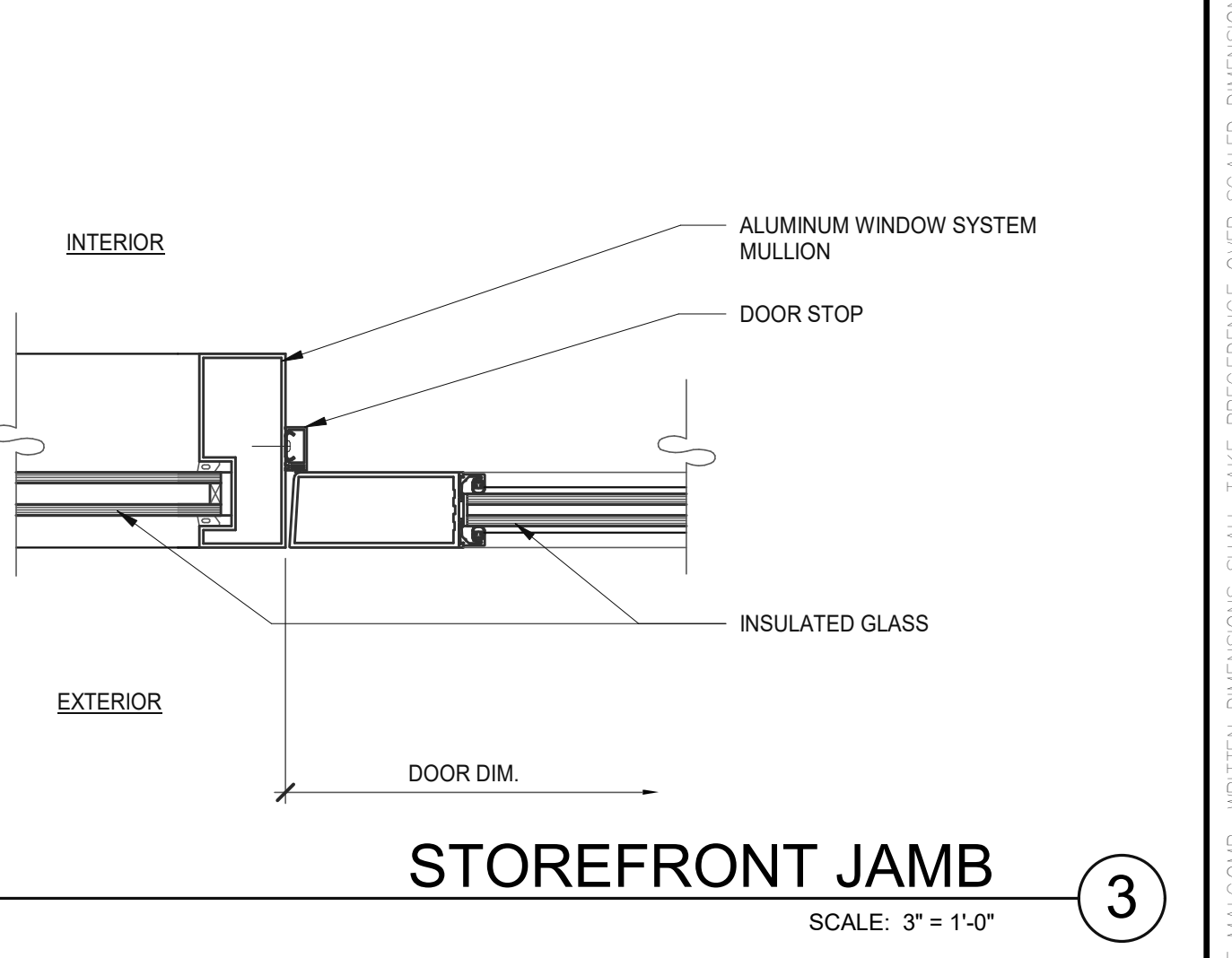
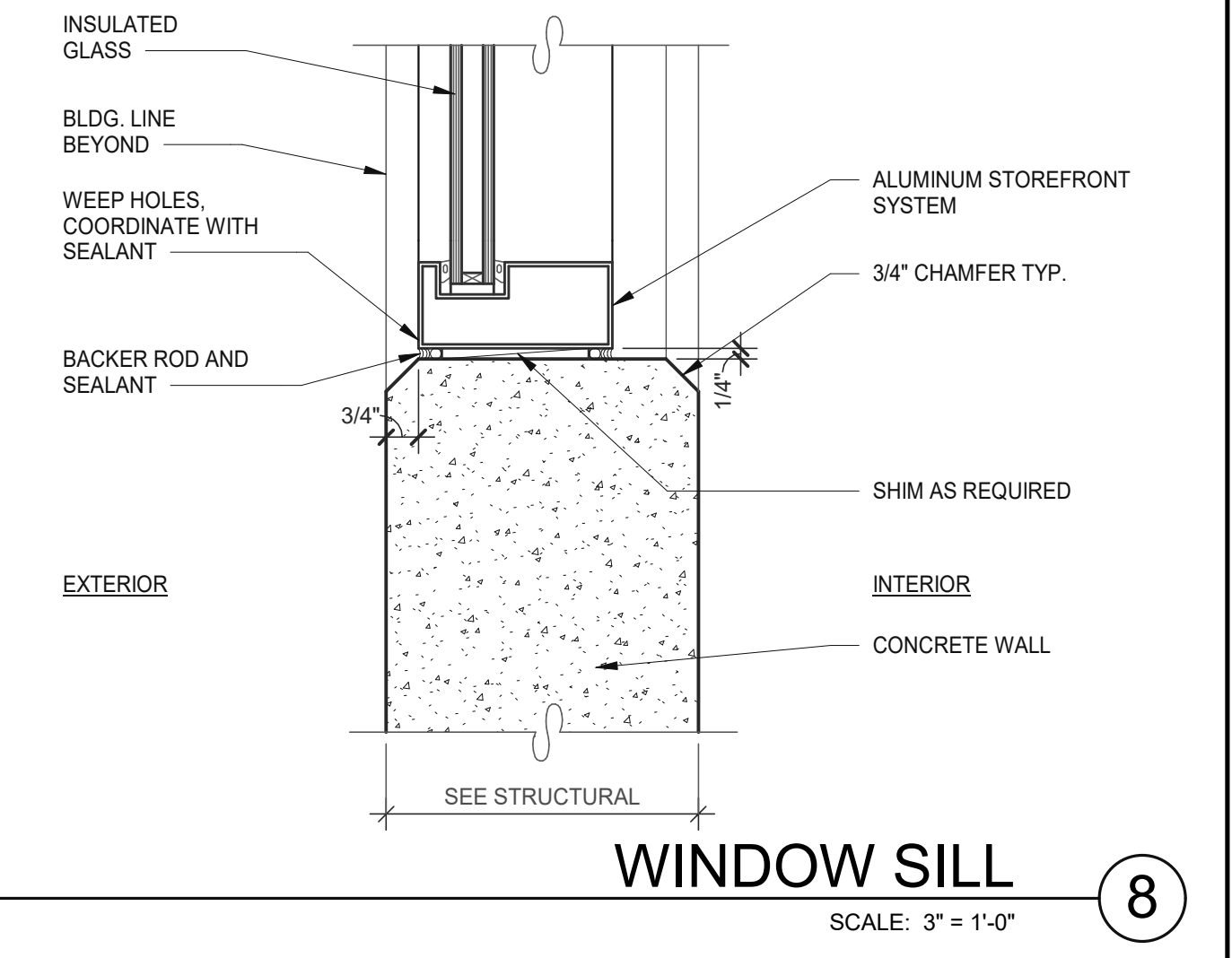
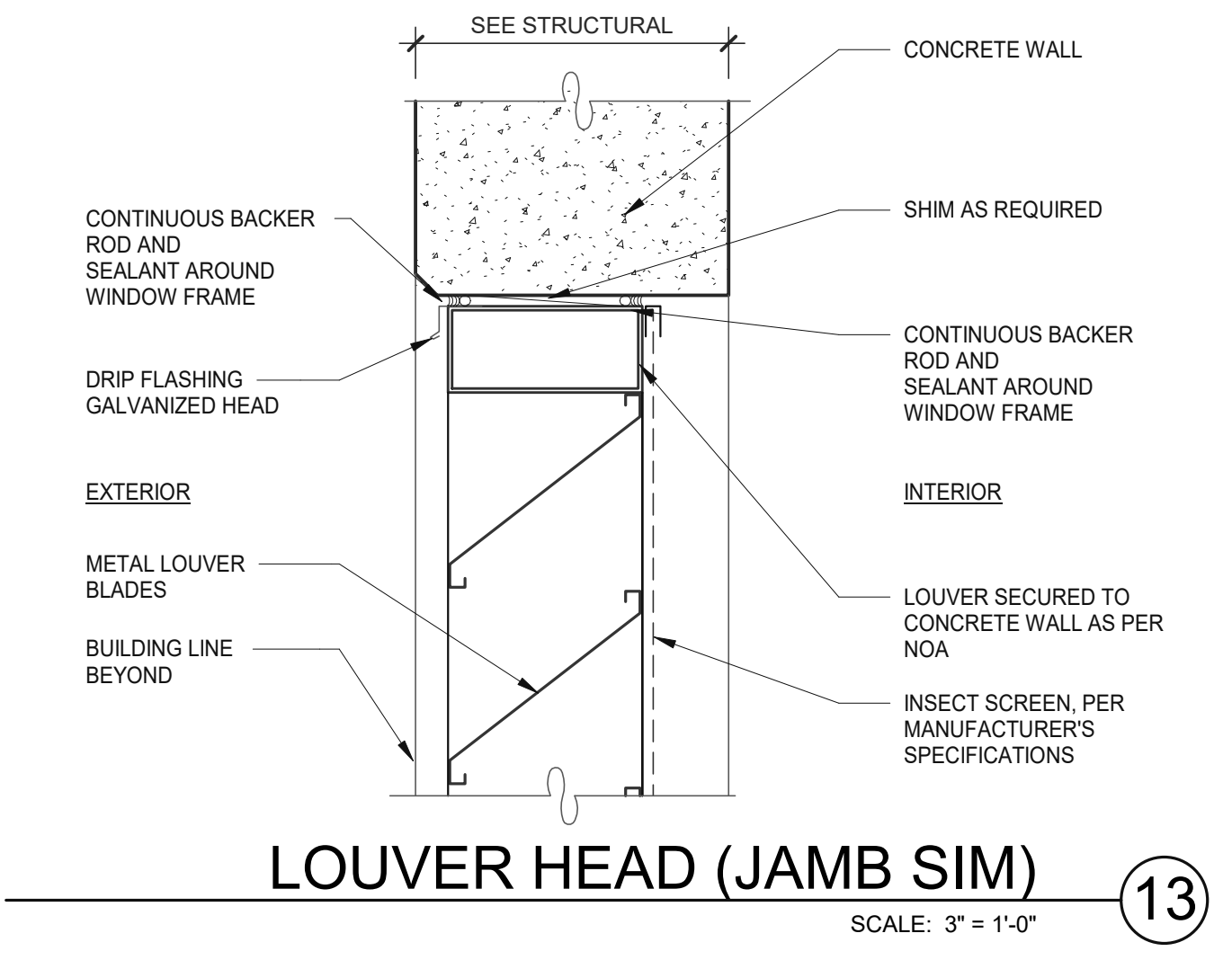
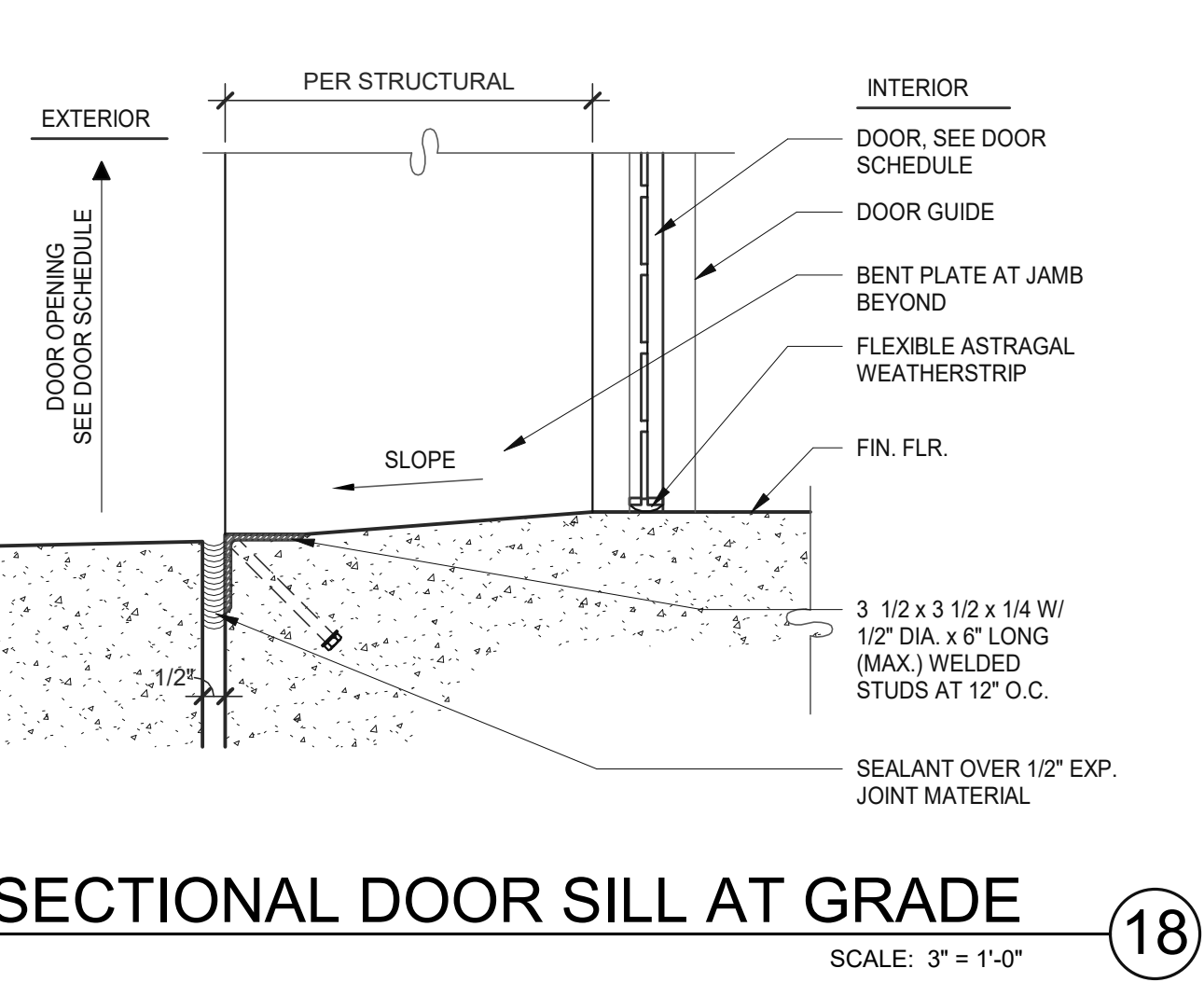
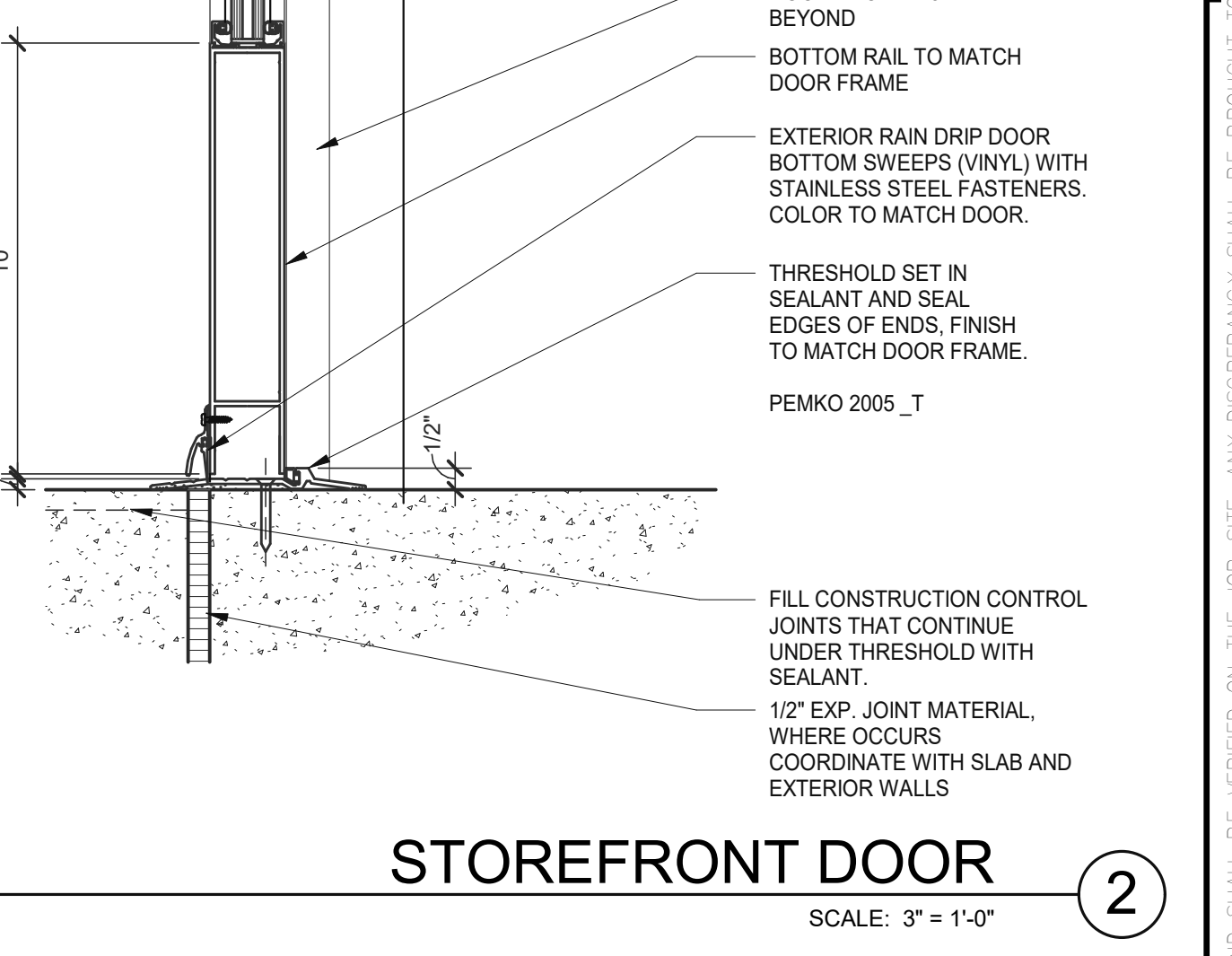
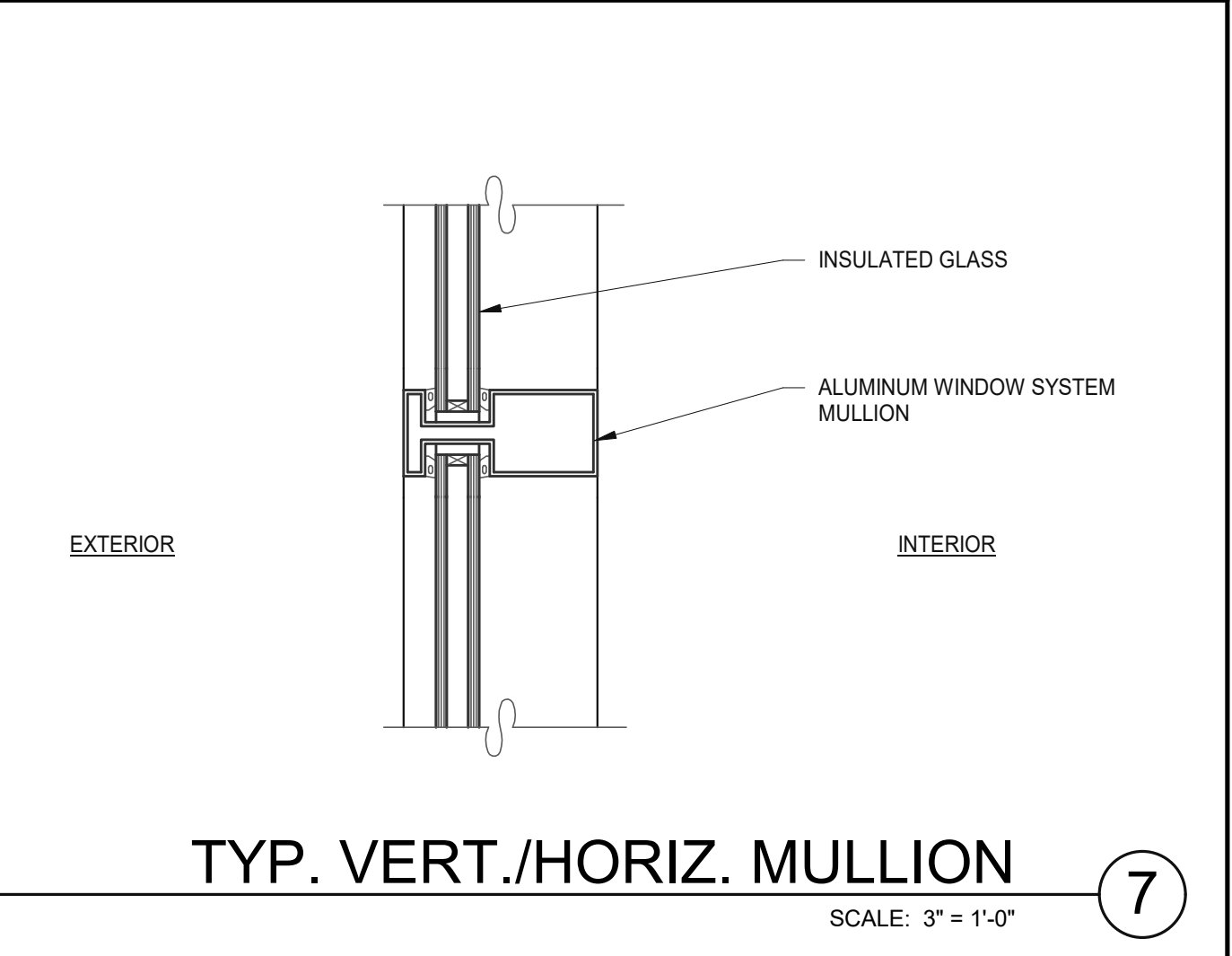
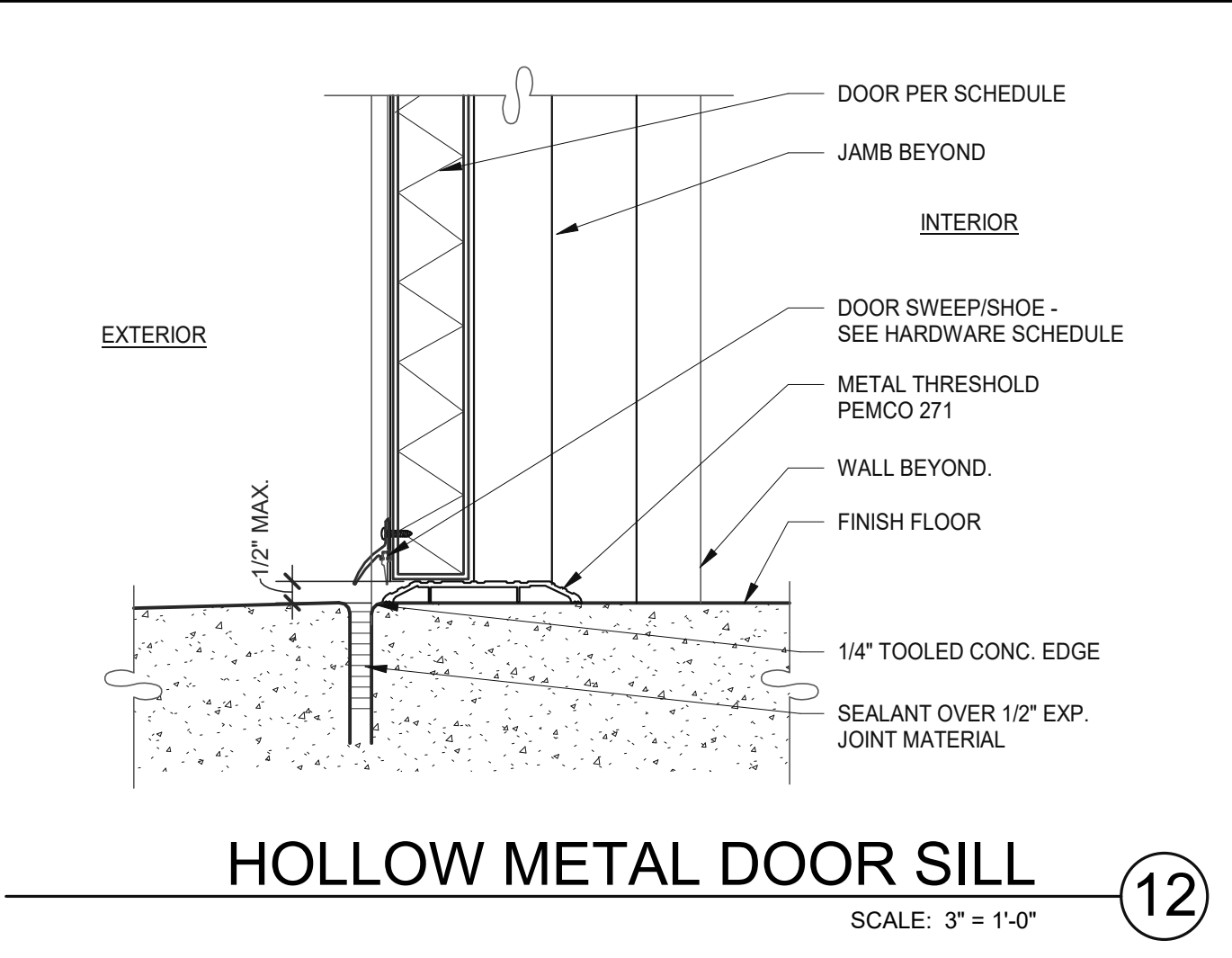
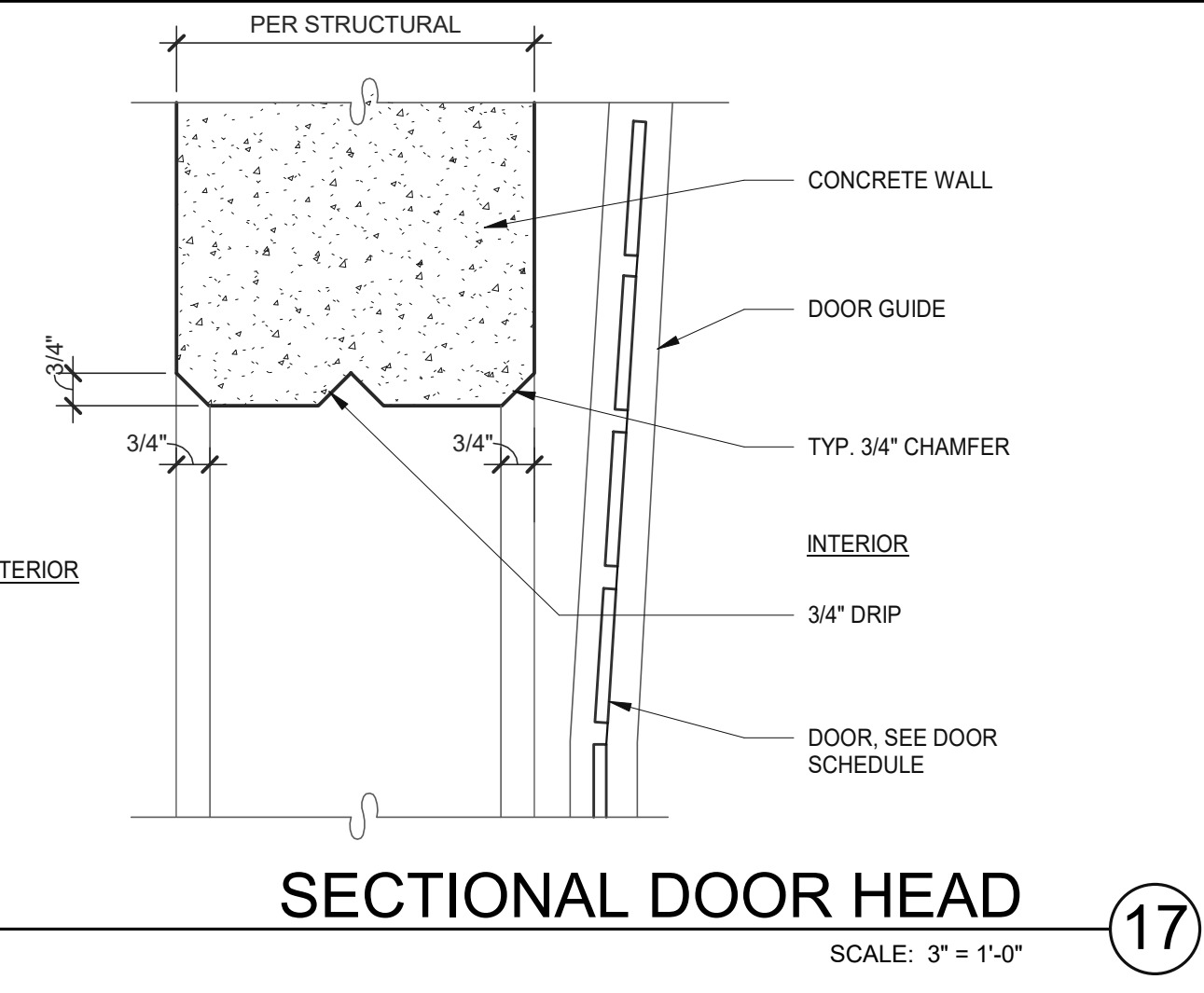
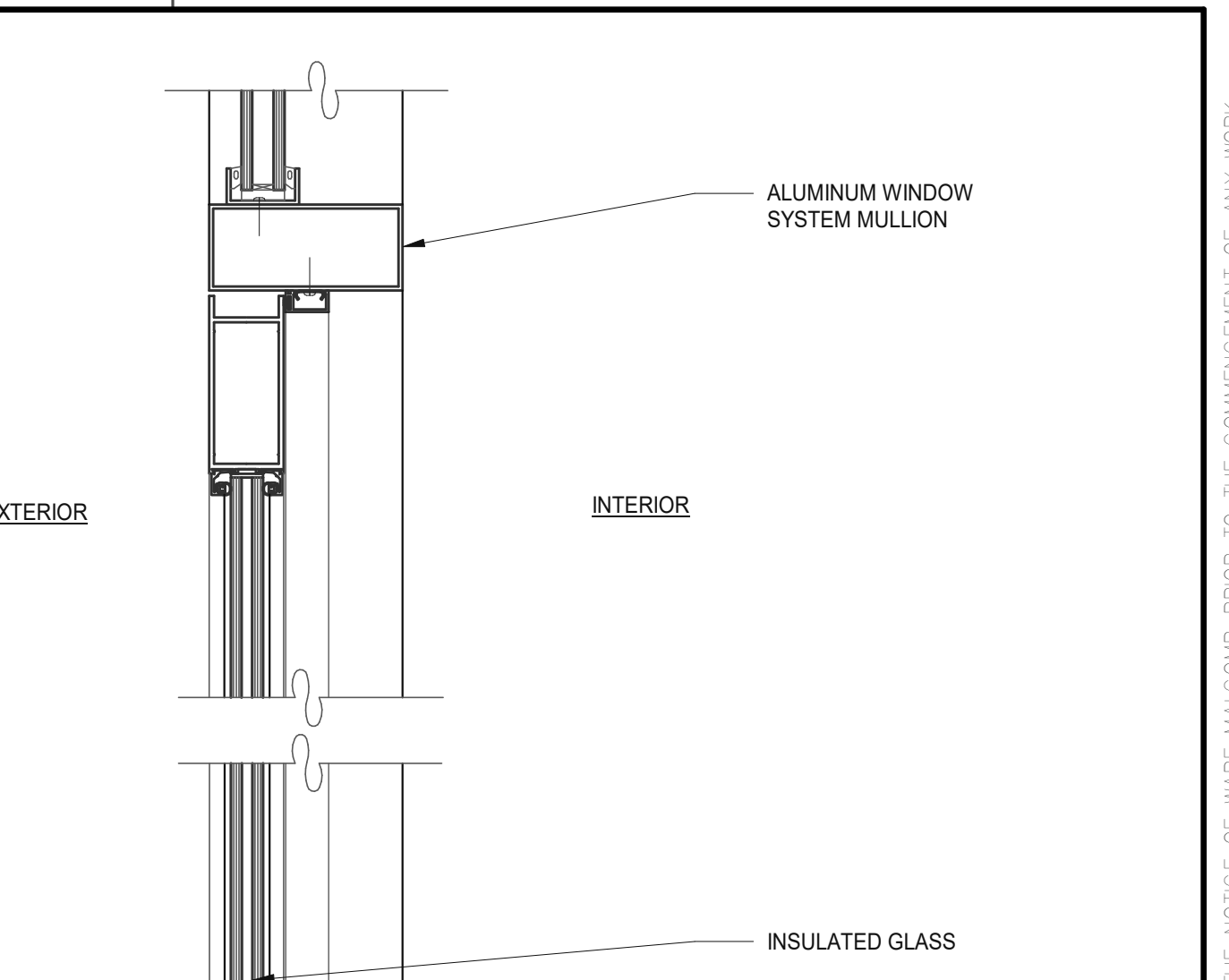
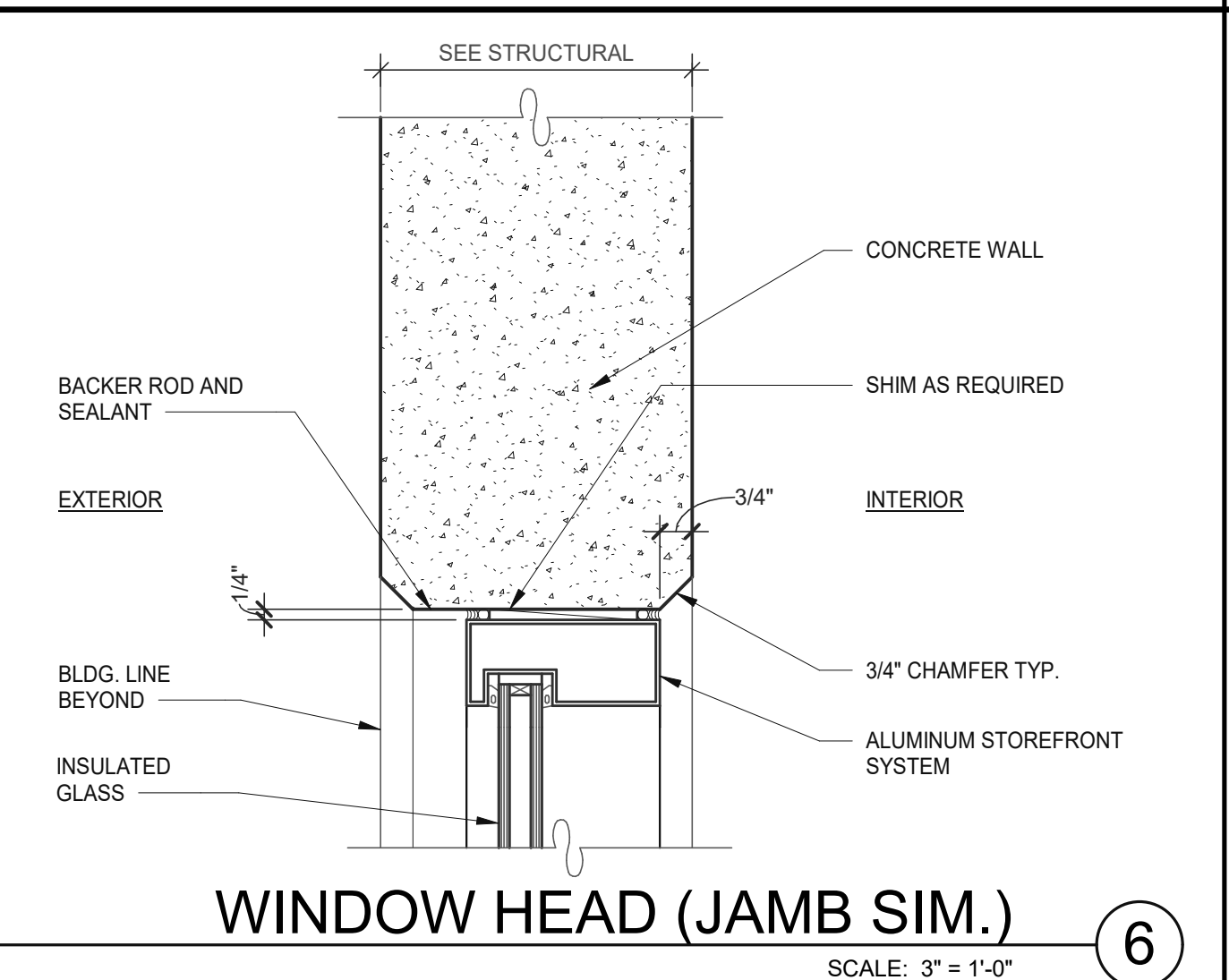
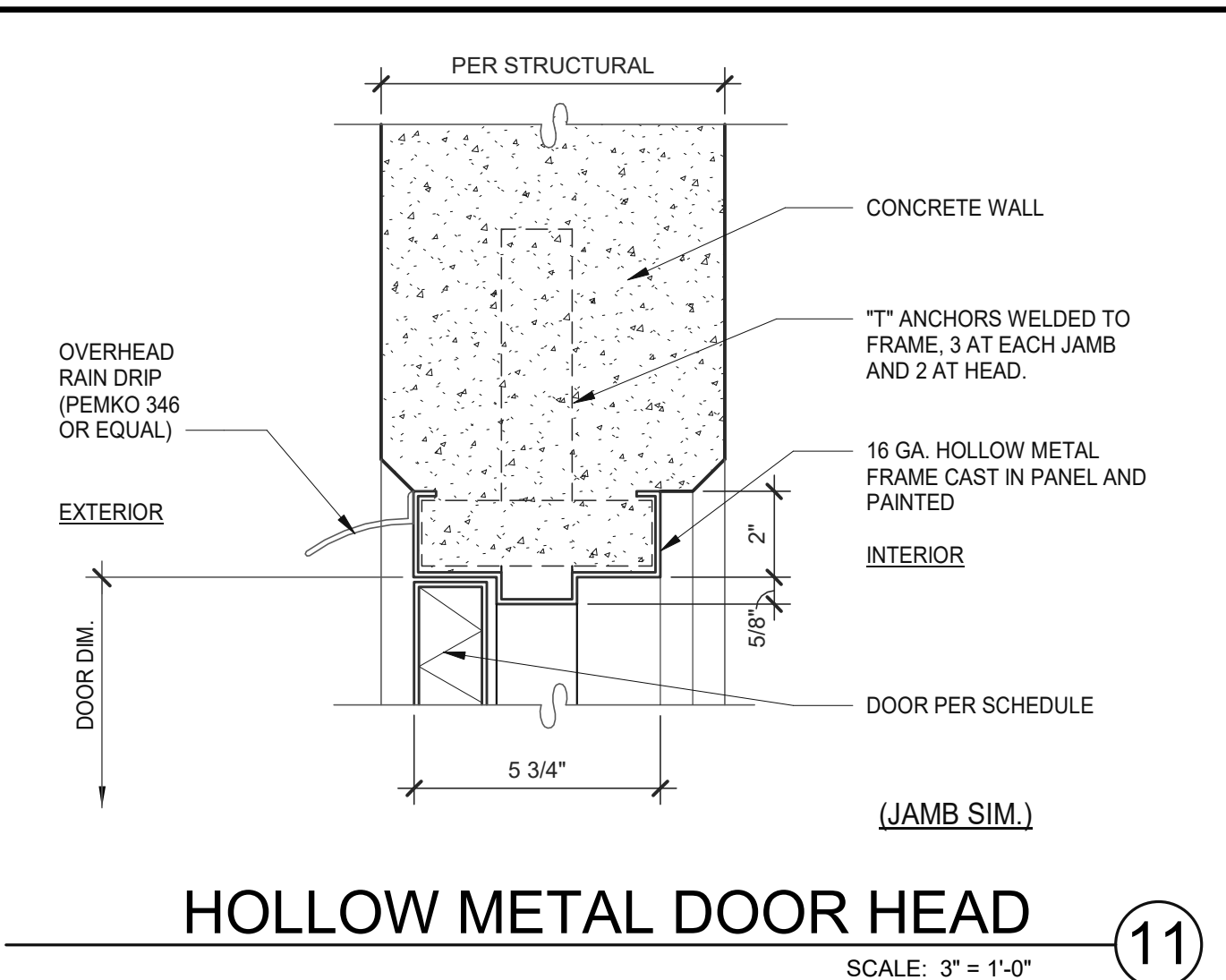
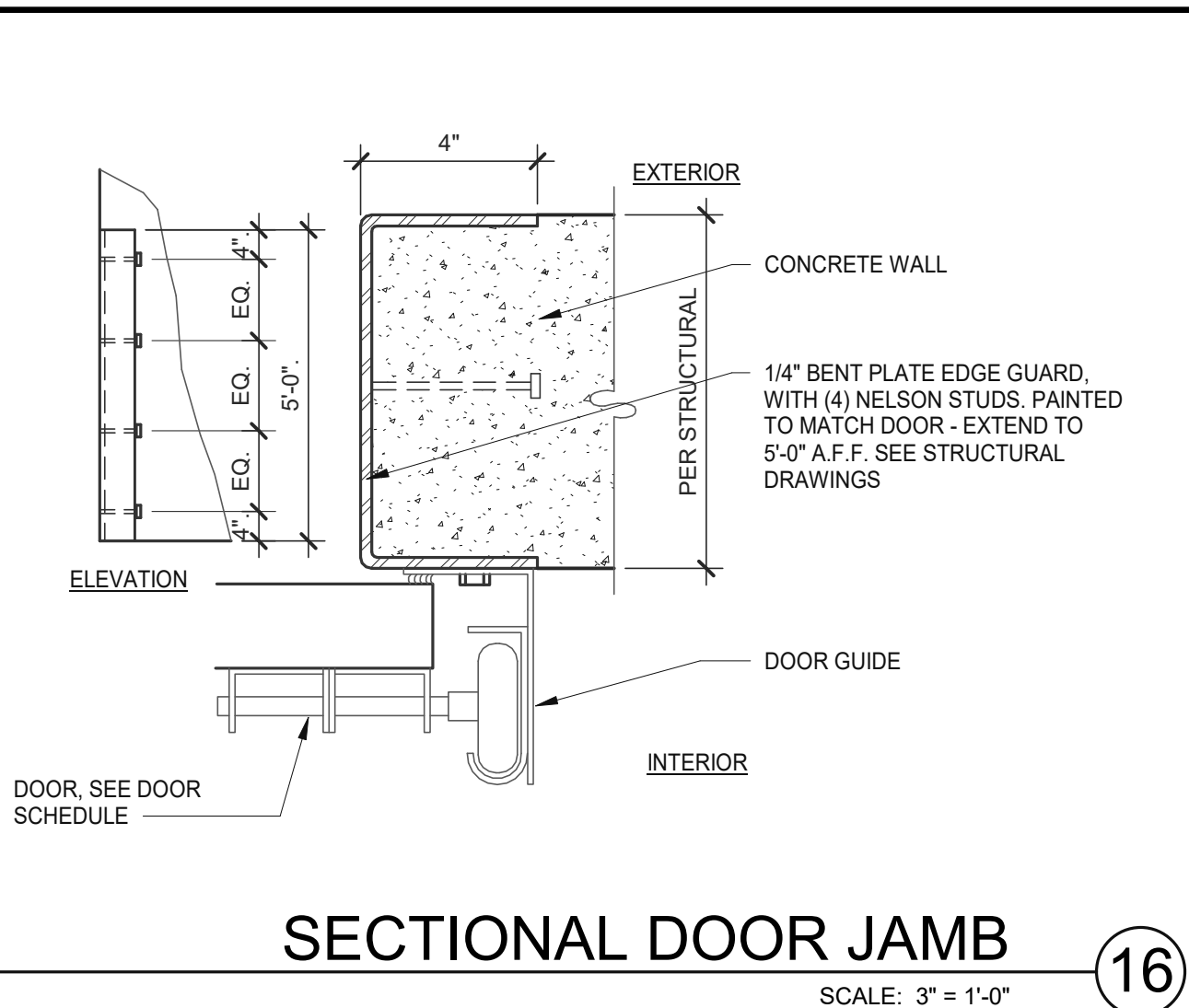
WARE MALCOMB
 ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 INTERIORS
 BUILDING MEASUREMENT
 4650 Chabot Dr., Suite #200
 Fremont, CA 94538
 P: 925.244.9200
 F: 925.244.9200

WESTCORE INDUSTRIAL BUILDING
 1515 S. FRESNO AVE., STOCKTON, CALIFORNIA 95206

REMARKS	
DATE	SITE AND DESIGN REVIEW SUBMITTAL
12/20/2021	

PA/PM:	P. KING
DRAWN BY:	M.I.E.S.
JOB NO.:	SNR21-0017-00

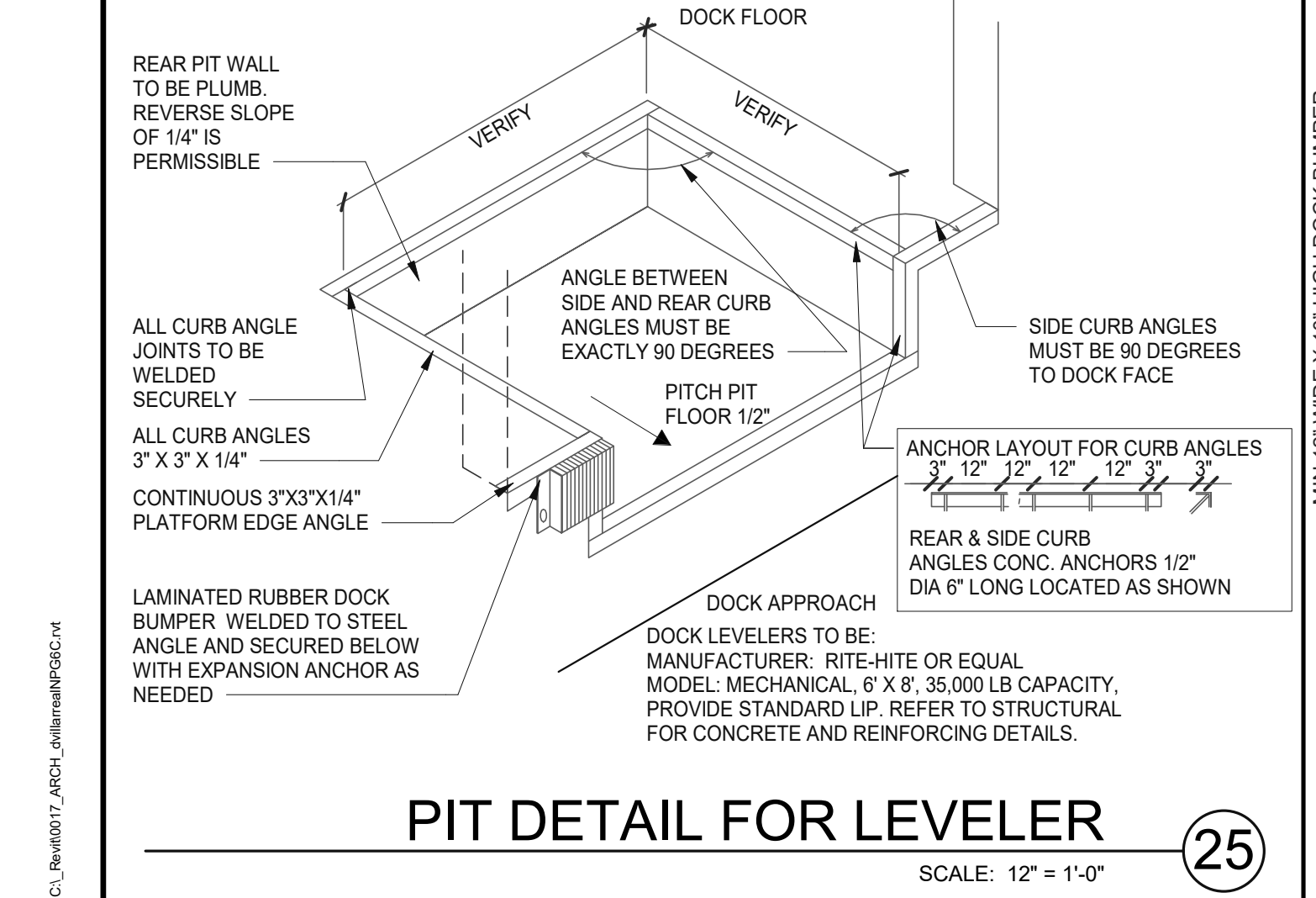
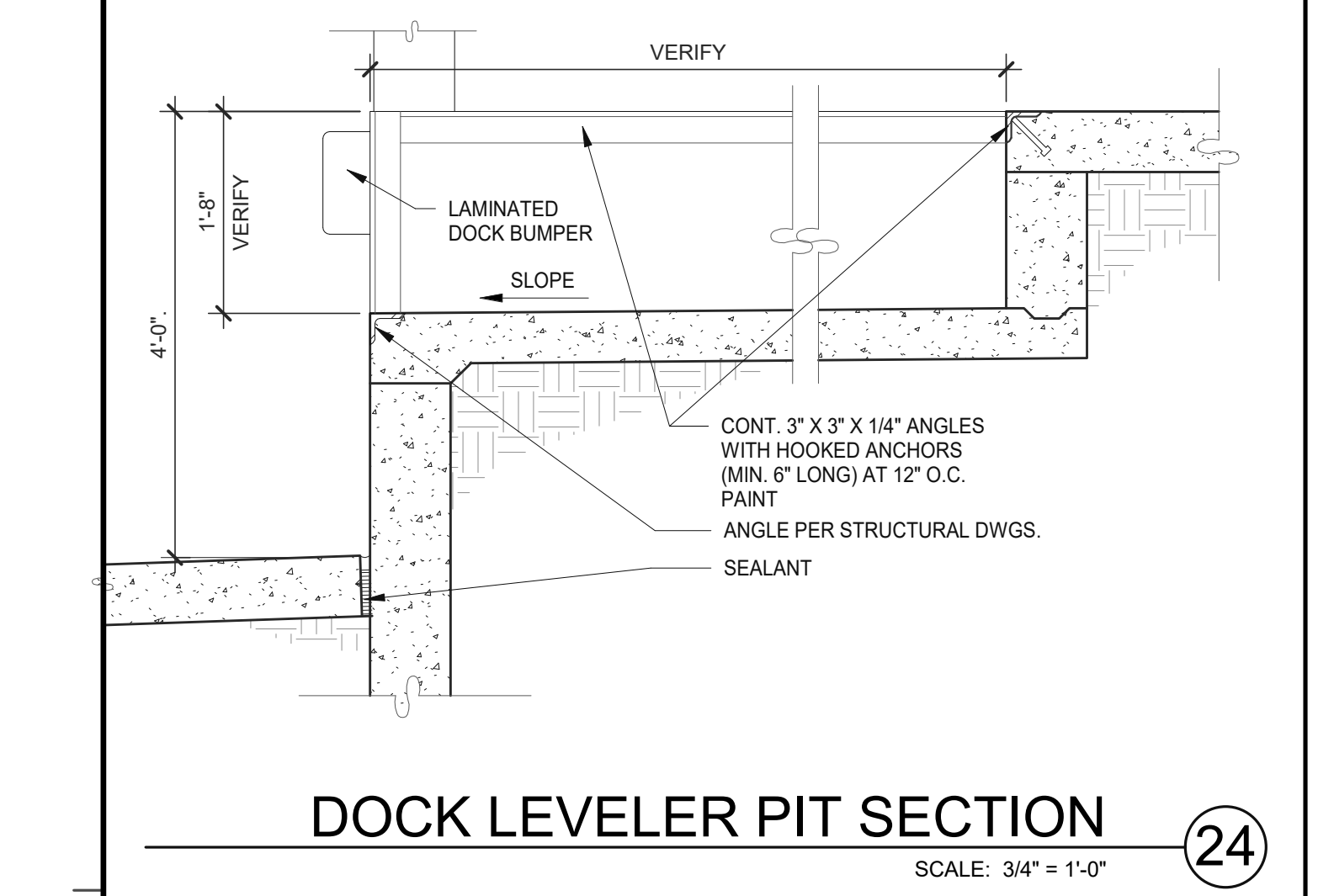
SHEET
A6.2



*** DOCK BUMPER PROJECTION**

ROLLING SLOPE %	MINIMUM PROJECTION	OPTIMUM PROJECTION
LEVEL	4"	6"
1%	5"	7"
2%	6"	8"
3%	7"	9"
4%	8"	10"
5%	9"	11"
6%	10"	12"
7%	11"	13"
8%	12"	14"
9%	13"	15"
10%	14"	16"

DOWNWARD APRON SLOPE TOWARD DOCK MEASURE FROM 50' AWAY (VIF)



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
4655 Chubb Dr., Suite #200
Fresno, CA 93726
P: 559.244.9200

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVE. STOCKTON, CALIFORNIA 95206

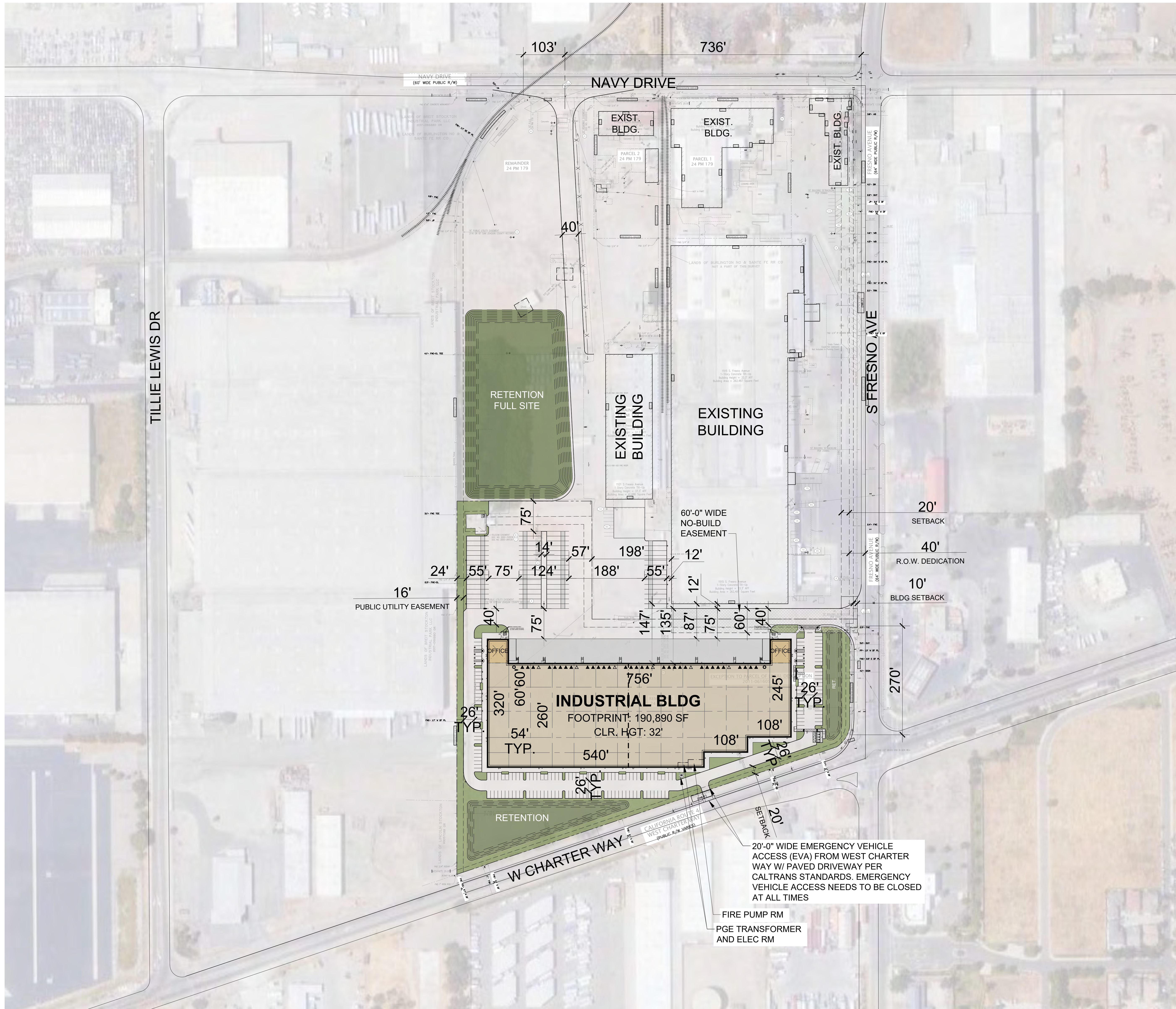
DETAILS

REMARKS
DATE: 12/29/2021
SITE AND DESIGN REVIEW SUBMITTAL

PAPM: P. KING
DRAWN BY: M.I.E.S.
JOB NO.: SNR21-0017-00

SHEET
A6.4

9/26/2022 11:43:39 AM

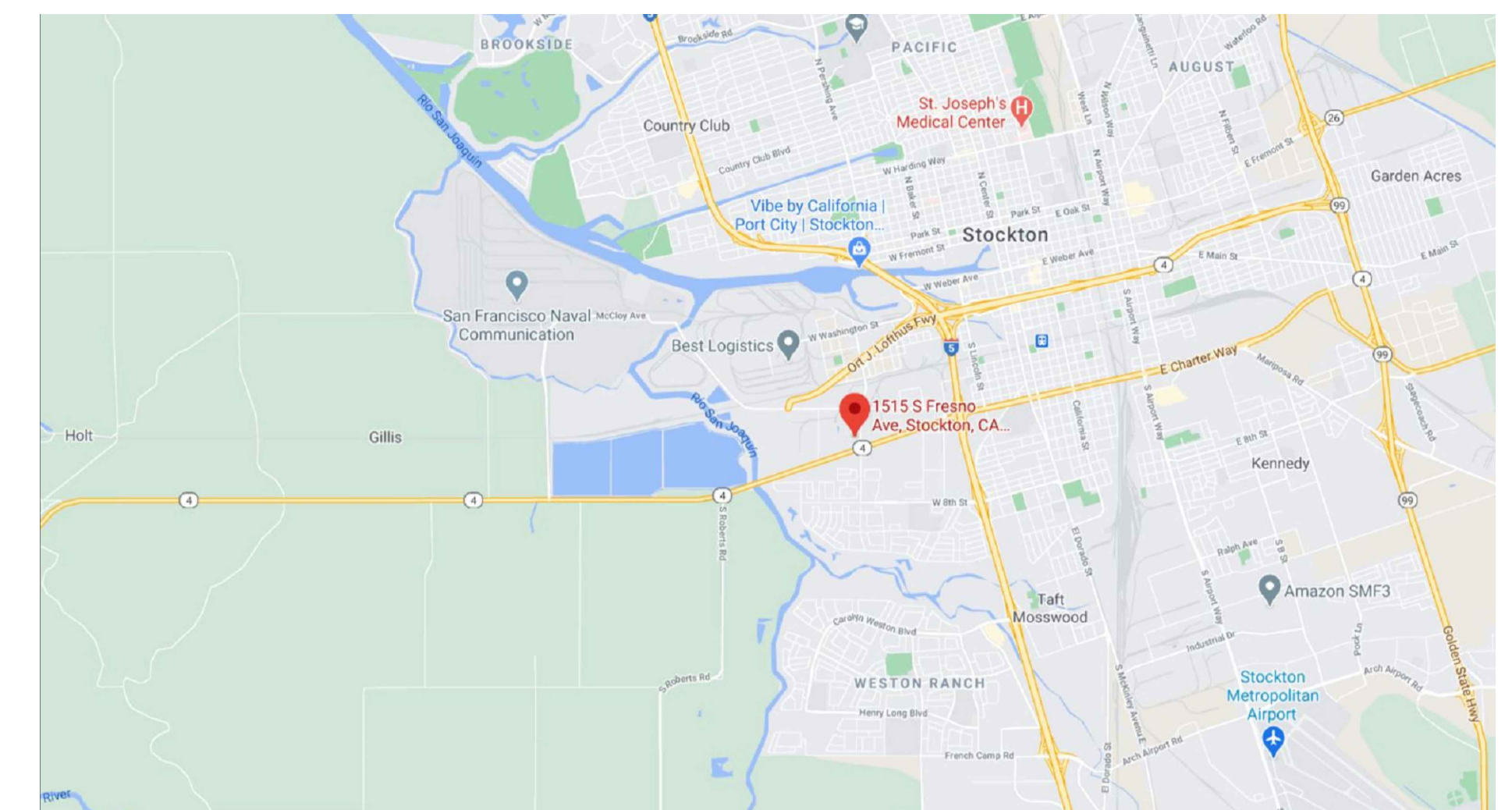


PROJECT DATA:	
SITE AREA:	12.78 AC
GROSS:	556,632 SF
BUILDING FOOTPRINT:	190,890 SF
BUILDING USE:	
WAREHOUSE	184,410 SF
OFFICE @ 3%	6,480 SF
COVERAGE:	
GROSS:	34%
PARKING REQUIRED:	
WAREHOUSE	
1st 500K SF	1/2000 SF 92 STALLS
OFFICE	1/250 SF 26 STALLS
TOTAL	118 STALLS
PARKING PROVIDED:	
AUTO:	174 STALLS
@ 0.91/1000 SF	
REQ. ACCESSIBLE	6 STALLS
STANDARD	9' x 18' 128 STALLS
ACCESSIBLE	9' x 18' 8 STALLS
COMPACT (25% MAX)	9' x 16' 16 STALLS
CLEAN AIR VEH. (CAV)	9' x 18' 22 STALLS
TOTAL	174 STALLS
BIKE:	
SHORT TERM (5% OF AUTO)	10 SPACES
LONG TERM (5% OF AUTO)	10 SPACES
TRUCK DOCKS:	
▲ DOCK-HIGH DOORS	38
● GRADE-LEVEL DOORS	2
TRAILER:	61 STALLS

DEVELOPMENT STANDARDS:	
ZONING:	IG
MAX. COVERAGE:	60%
BUILDING SETBACKS:	
FRONT:	10 FT
SIDE:	0 FT
REAR:	0 FT
LANDSCAPE SETBACKS:	
FRONT:	10 FT
SIDE:	5 FT ³
REAR:	5 FT ³
LANDSCAPE REQ.:	1
OFF-STREET PARKING:	
STANDARD:	9X19
COMPACT:	9X15
COMPACT %:	25%
FIRE LANE:	26 FT
OVERHANG:	2 FT
TREE WELL:	6 FT
REQ. PARKING RATIO BY USE:	
WAREHOUSE:	1/2000 SF ²
MANUF.:	1/500 SF ⁴
OFFICE:	1/250 SF ⁵
NOTES:	
1 One (1) tree for every five (5) stalls	
2 1st 500K is 1/2000, portion over 500K 1/4000	
3 A landscaping strip of at least 10 feet in width shall be provided adjacent to residential district	
4 Up to 50,000 sf - 1/500	
50,001 to 100,000 sf - 100 spaces + 1/1000 for area over 50,000 sf	
100,001 to 500,000 sf - 150 spaces + 1/2000 for area over 100,000 sf	
5 Office/sales over 5,000 sf - 1/250 sf	

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Boundary Source:
PDF ALTA SURVEY



scheme: 6.4

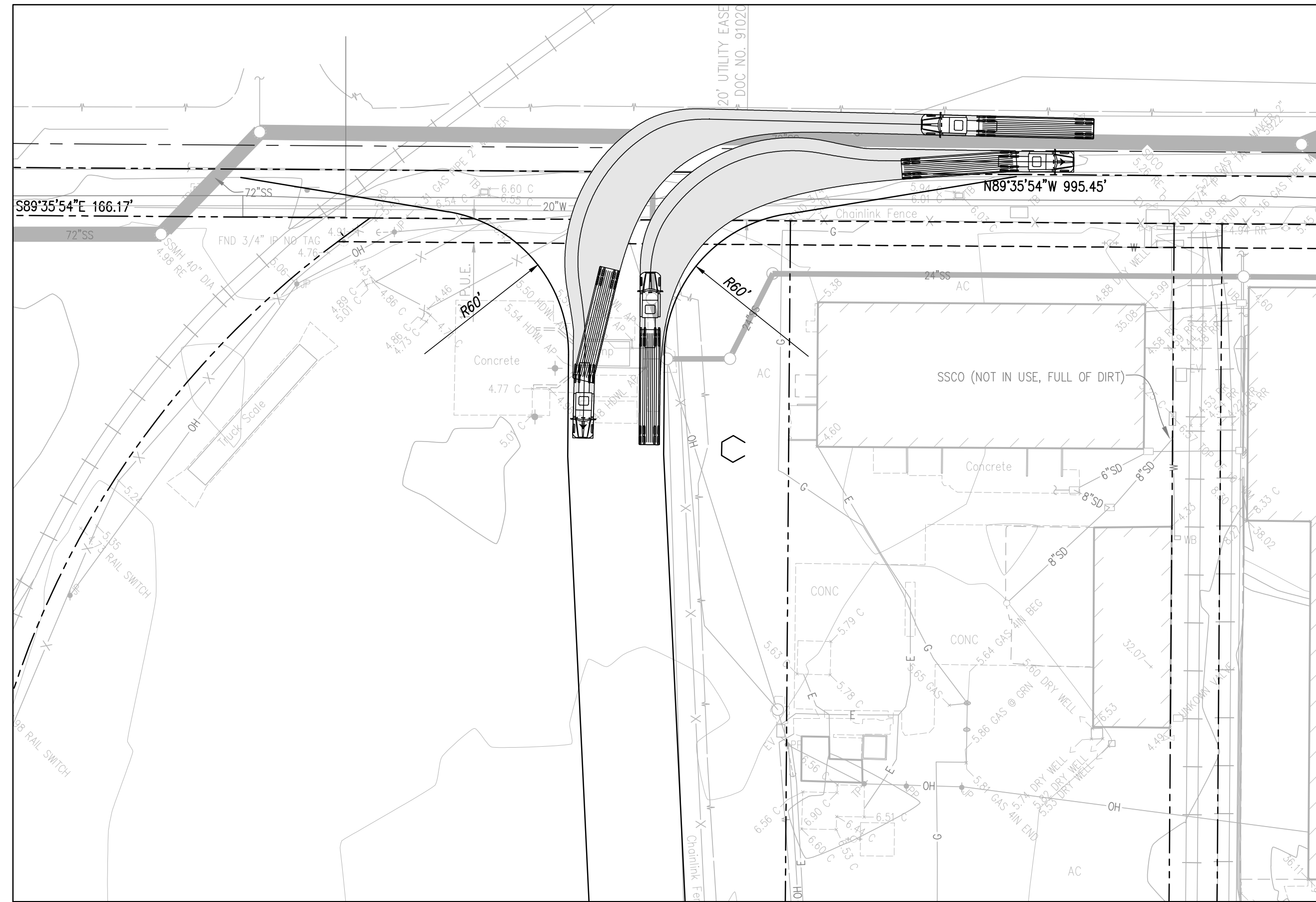
Conceptual Site Plan

1515 S Fresno Ave
Stockton, CA 95206

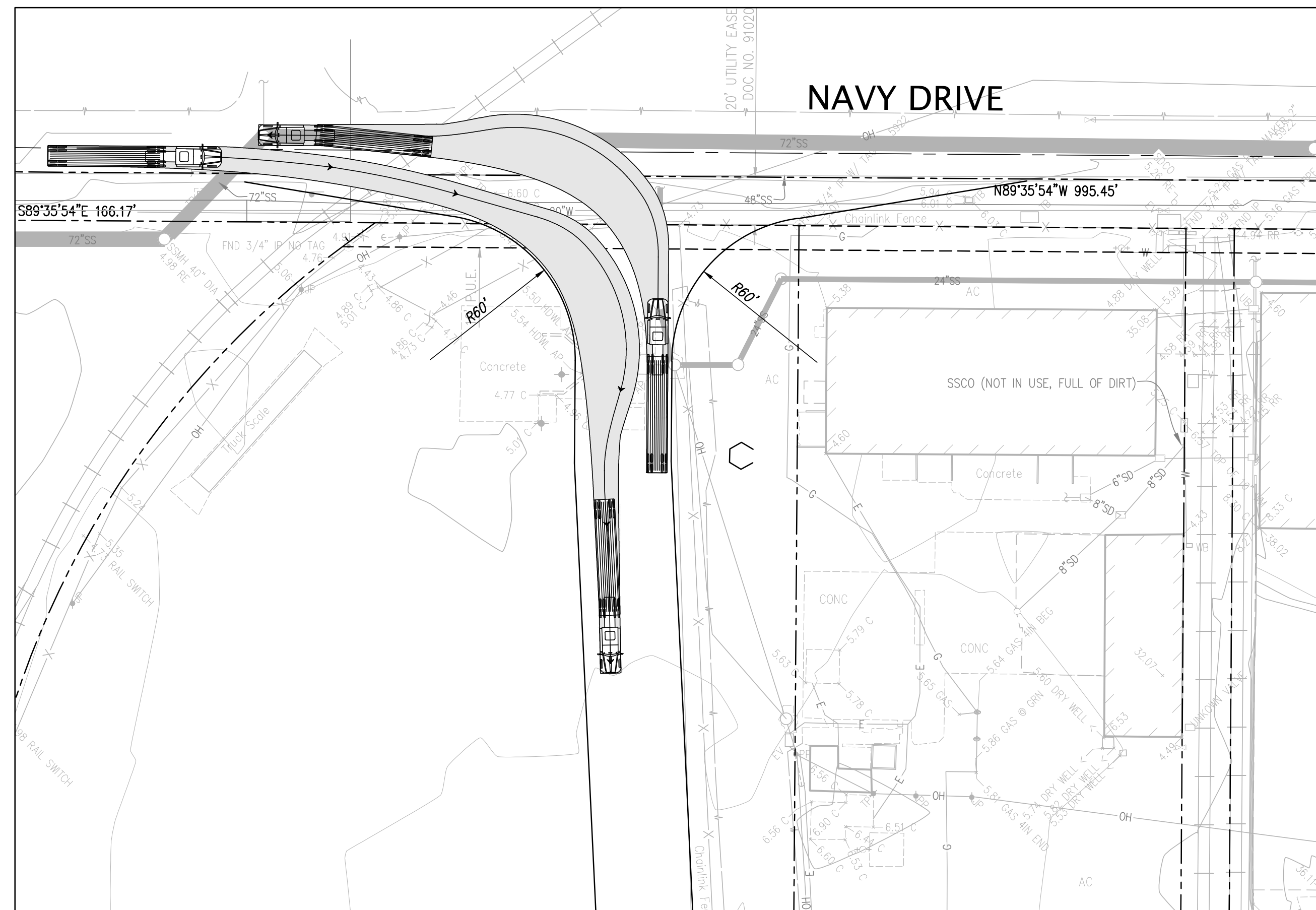
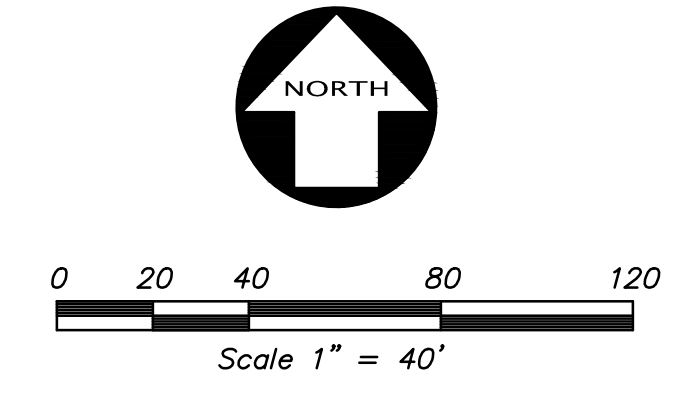
WARE MALCOMB

SNR21-0017-00
09.02.2022

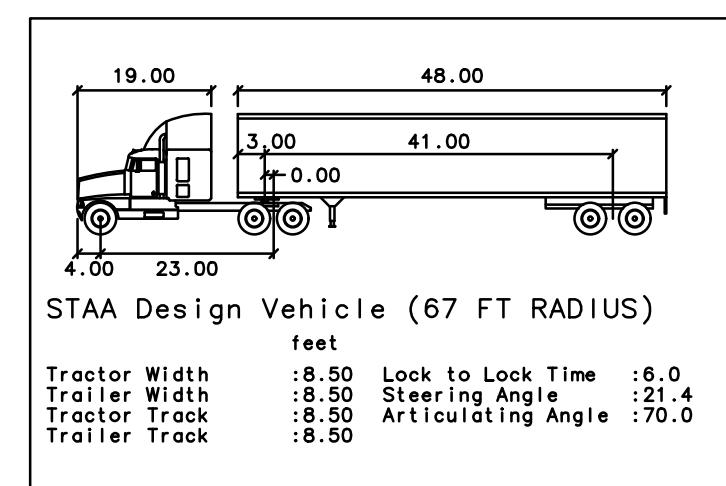
SHEET
1



NAVY DRIVE - LEFT TURN ENTRANCE & RIGHT TURN EXIT



NAVY DRIVE - LEFT TURN EXIT & RIGHT TURN ENTRANCE



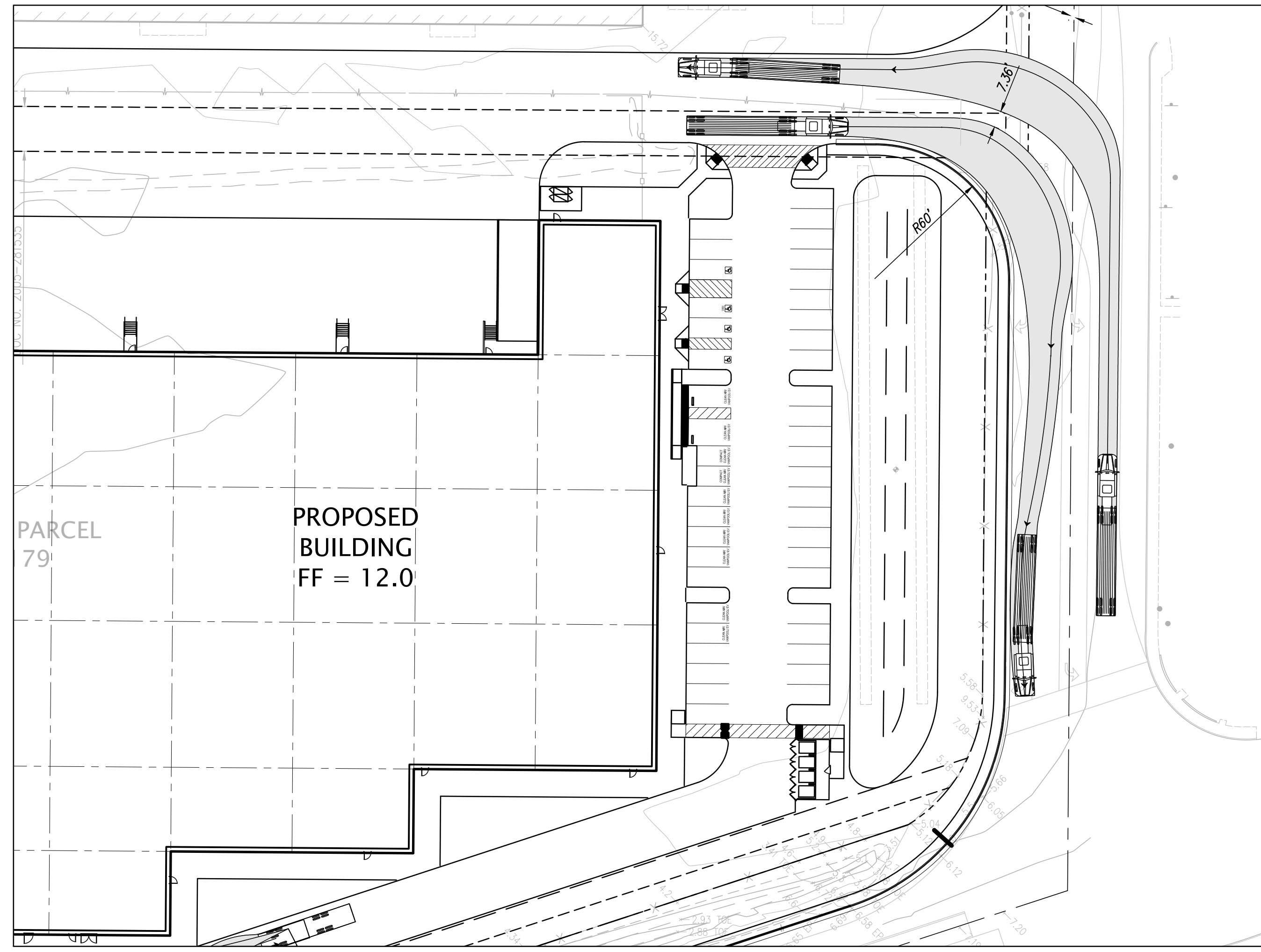
NO.	REVISION	BY	DATE



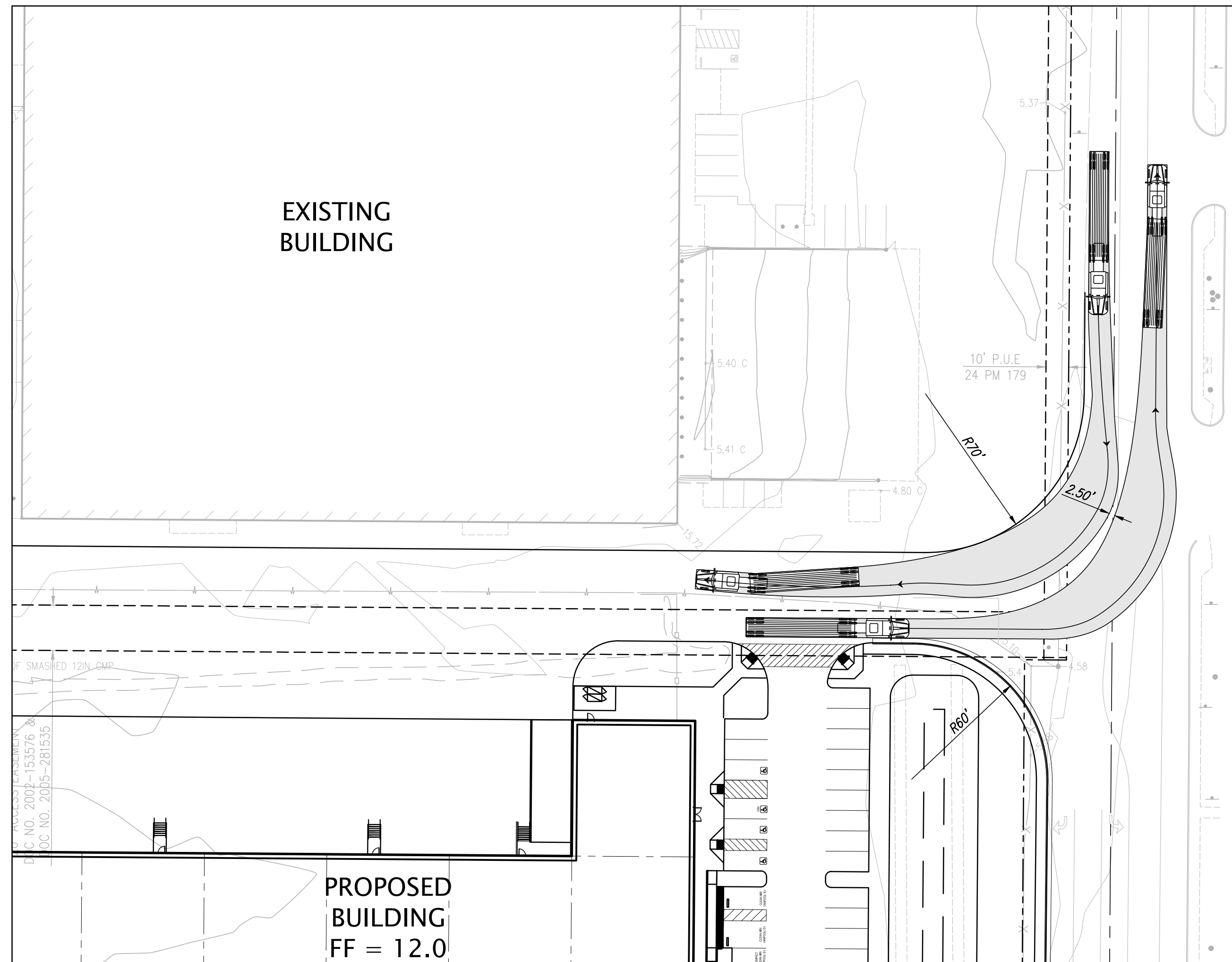
KIER+WRIGHT
 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-8788
 www.kierwright.com

NAVY DRIVE - TRUCK TURN EXHIBIT
 OF
1515 S. FRESNO AVENUE
 FOR
WESTCORE CG NAVY, LLC
 STOCKTON, CALIFORNIA

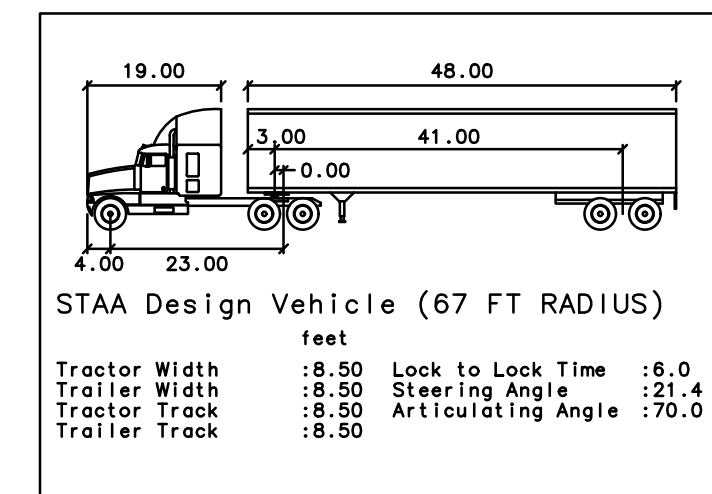
DATE	MAY, 2022
SCALE	AS SHOWN
DESIGNER	SP
DRAWN BY	MRF
JOB NO.	A20664-1
SHEET	C1.0
OF	1 SHEETS



FRESNO AVENUE - RIGHT TURN EXIT AND LEFT TURN ENTRANCE



FRESNO AVENUE - LEFT TURN EXIT AND RIGHT TURN ENTRANCE



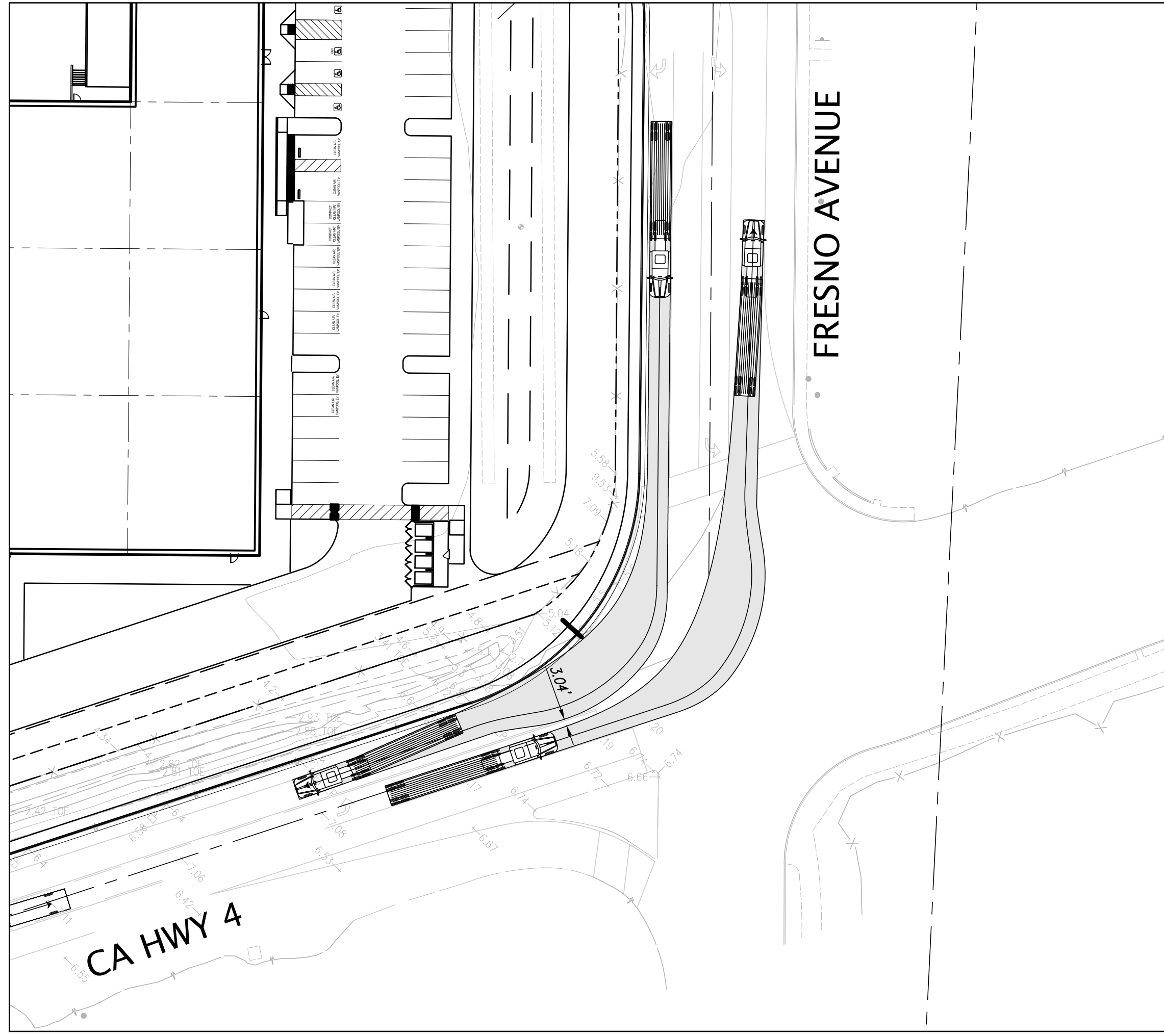
NO.	BY	REVISION

REGISTERED PROFESSIONAL ENGINEER
DAVID G. READING
No. 48874
CIVIL
STATE OF CALIFORNIA

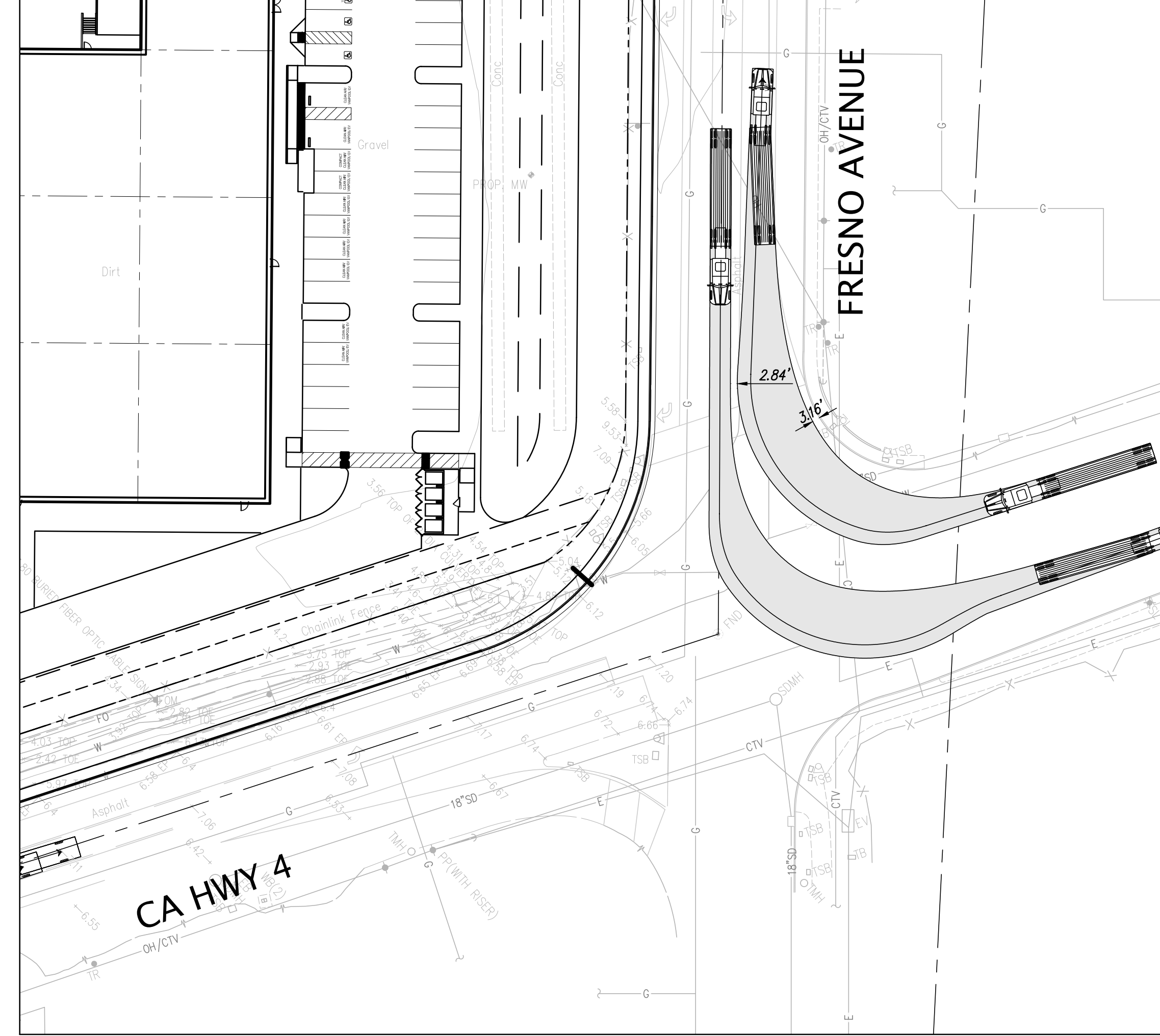
KIER+WRIGHT
2850 Collier Canyon Road
Livermore, CA 94551
Phone: (925) 245-8788
www.kierwright.com

FRESNO AVENUE CALTRANS TRUCK TURN
OF
1515 S. FRESNO AVENUE
FOR
WESTCORE CG NAVY, LLC
STOCKTON, CALIFORNIA

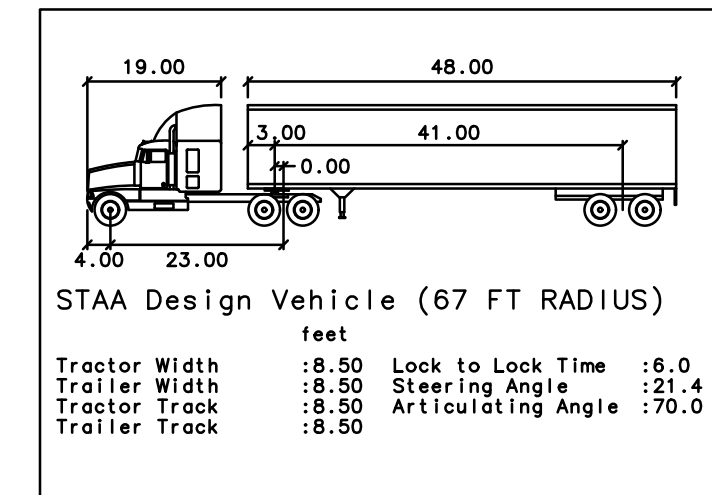
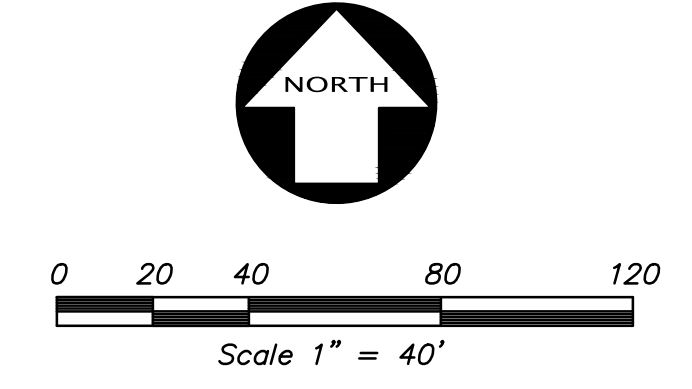
DATE: AUGUST, 2022
SCALE: AS SHOWN
DESIGNER: SP
DRAWN BY: MRF
JOB NO.: A20664-1
SHEET: **2.0**
OF 3 SHEETS



CA-4 FRESNO AVENUE INTERSECTION NW CORNER



CA-4 FRESNO AVENUE INTERSECTION NE CORNER



NO.	BY	REVISION
1		
2		
3		
4		

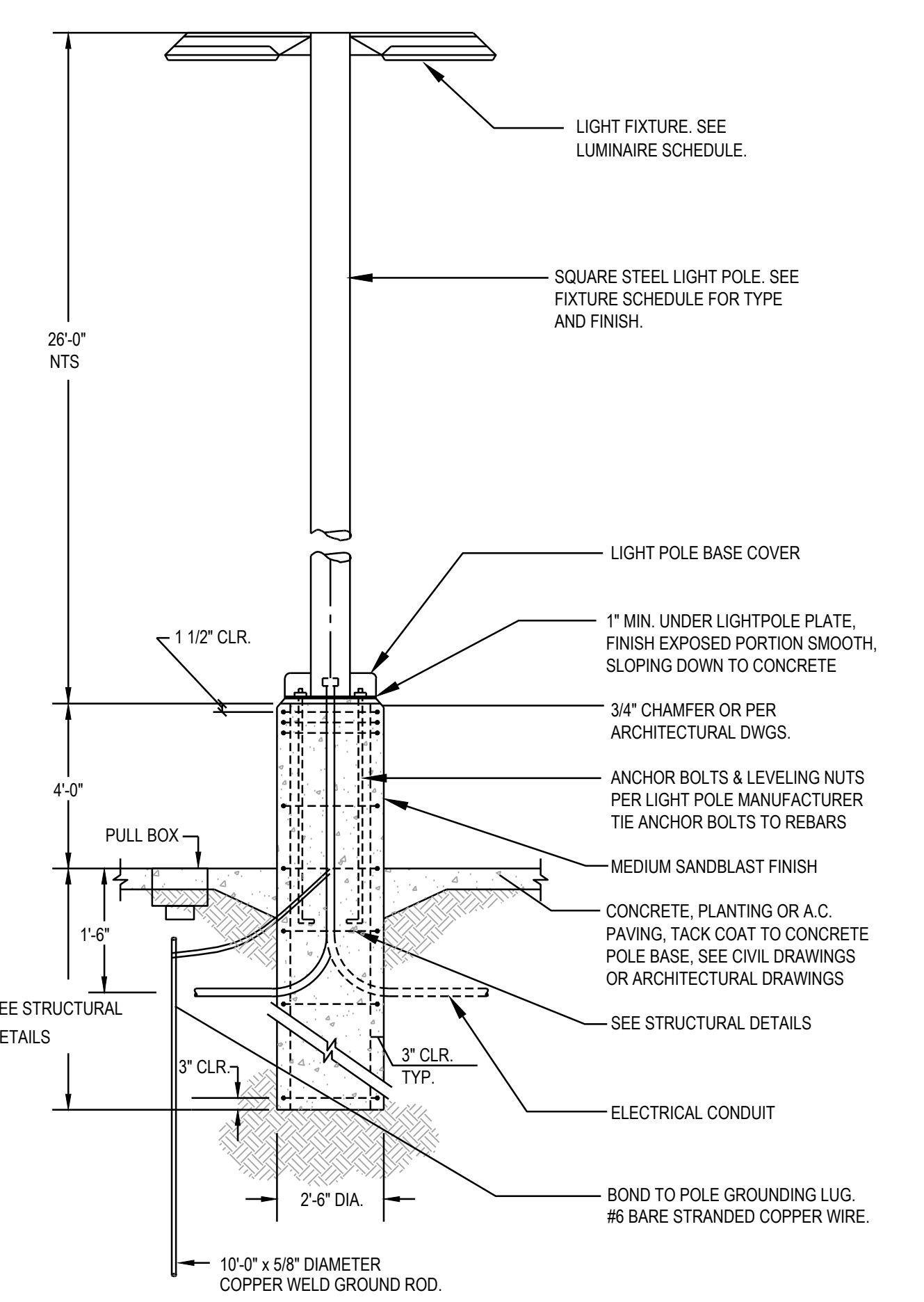
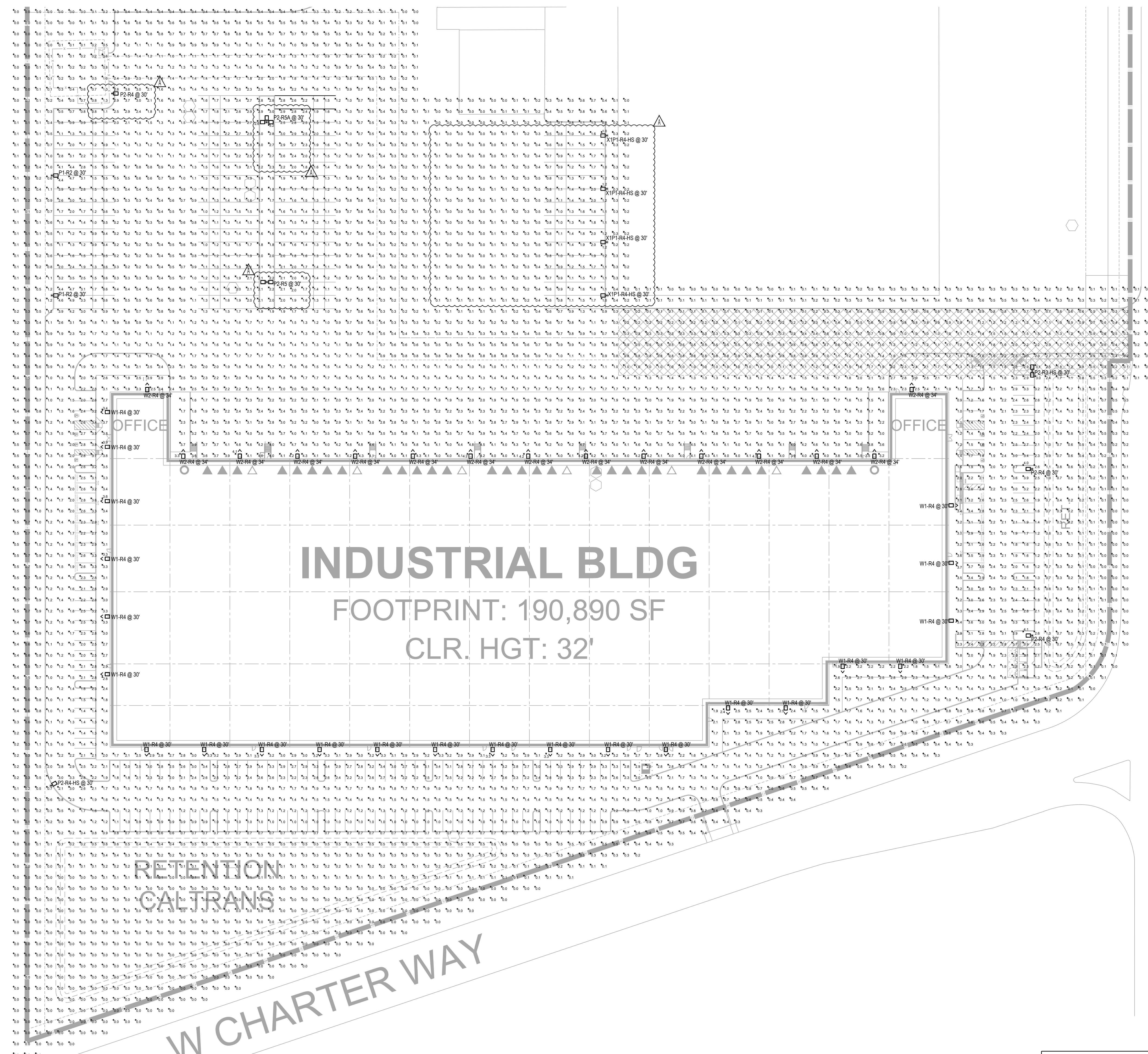


KIER+WRIGHT
 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-8788
 www.kierwright.com

CA 4 & FRESNO AVE CALTRANS TRUCK TURN
 OF
 1515 S. FRESNO AVENUE
 FOR
 WESTCORE CG NAVY, LLC
 STOCKTON, CALIFORNIA

DATE	AUGUST, 2022
SCALE	AS SHOWN
DESIGNER	SP
DRAWN BY	MRF
JOB NO.	A20664-1
SHEET	3.0
OF	3 SHEETS

P:\Ware Malcomb\2021\210492 Westcore, 1515 S. Fresno Ave., Stockton, CA\Electrical\EP1.0 Site Photometric.dwg



STATISTICS						
DESCRIPTION	SYMBOL	AVE	MAX	MIN	MAX / MIN	AVE / MIN
PARKING / DRIVE WAY	X	1.6 fc	4.9 fc	0.0 fc	N/A	N/A

SCHEDULE									
LABEL	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	NUMBER OF LAMPS	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE	DISTRIBUTION
P1-R2	2	LITHONIA LIGHTING	RSX2 LED P1 50K R2	RSX Area Luminaire Size 2 P1 Lumen Package 5000K CCT Type R2 Distribution	1	11031	0.92	72,064	TYPE II, SHORT, BUG RATING: B2 - U0 - G1
P2-R3-HS	1	LITHONIA LIGHTING	RSX2 LED P2 50K R3 HS	RSX Area Fixture Size 2 P2 Lumen Package 5000K CCT Type R3 Distribution with HS Shield	1	12688	0.92	228,142	TYPE III, SHORT, BUG RATING: B1 - U0 - G2
P2-R4	1	LITHONIA LIGHTING	RSX2 LED P2 50K R4	RSX Area Fixture Size 2 P2 Lumen Package 5000K CCT Type R4 Distribution	1	17427	0.92	114,071	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3
P2-RA	1	LITHONIA LIGHTING	RSX2 LED P2 50K R4	RSX Area Fixture Size 2 P2 Lumen Package 5000K CCT Type R4 Distribution	1	17427	0.92	114,071	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3
P2-R4-HS	1	LITHONIA LIGHTING	RSX2 LED P2 50K R4 HS	RSX Area Fixture Size 2 P2 Lumen Package 5000K CCT Type R4 Distribution with HS Shield	1	12135	0.92	114,071	TYPE IV, SHORT, BUG RATING: B1 - U0 - G2
P2-R5	2	LITHONIA LIGHTING	RSX2 LED P2 50K R5	RSX Area Fixture Size 2 P2 Lumen Package 5000K CCT Type R5 Distribution	1	17660	0.92	228,142	TYPE VS, BUG RATING: B5 - U0 - G3
W1-R4	23	LITHONIA LIGHTING	RSX2 LED P1 50K R4	RSX Area Fixture Size 2 P1 Lumen Package 5000K CCT Type R4 Distribution	1	11135	0.92	72,064	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3
W2-R4	15	LITHONIA LIGHTING	RSX2 LED P2 50K R4	RSX Area Fixture Size 2 P2 Lumen Package 5000K CCT Type R4 Distribution	1	17427	0.92	114,071	TYPE IV, SHORT, BUG RATING: B1 - U0 - G2
XIP1-R4-HS	4	LITHONIA LIGHTING	RSX1 LED P1 50K R4 HS	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R4 Distribution with HS Shield	1	5223	0.92	51,343	TYPE IV, SHORT, BUG RATING: B1 - U0 - G2

WARE, MALCOLM
Leading Design for Commercial Real Estate

architecture
planning
graphics
civil engineering
4665 chubb dr. suite 300
fresno, california 94388
P: 559.234.9221
F: 559.234.9221

WESTCORE INDUSTRIAL BUILDING
1515 S. FRESNO AVENUE
STOCKTON, CALIFORNIA 95206

ELECTRICAL SITE PHOTOMETRIC PLAN		REMARKS	DATE
DATE	4/25/2022		
BY	IA		
REVISIONS			
DATE			
BY			

PA / PM: P. KING
DRAWN BY:
JOB NO.: SNR21-0017-00

SHEET
EP1.0
17 of 25

PLANTING NOTES

GENERAL NOTES: The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to damage and/or replacement of these items. Contractor shall be responsible for coordination between trades and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

SOIL PREPARATION: The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate soil preparation amendment into planting areas as noted below. Where rototilling is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1 inch in diameter removed.

SOIL MANAGEMENT REPORT:

- A. The Contractor shall submit soil samples to the laboratory for analysis and recommendations.
 1. Soil sampling shall be conducted in accordance with the laboratory protocol, including protocols regarding adequate sampling depth for the intended plants.
 2. Soil analysis may include:
 - a. Soil texture
 - b. Infiltration rate determined by laboratory test or soil infiltration rate table
 - c. pH
 - d. Total soluble salts
 - e. Sodium
 - f. Percent organic matter
 - g. Recommendations
- B. Contractor shall submit soil report and recommendations to the City as part of the certificate of completion.
- C. The soil analysis report shall be made available, in a timely manner, to the professionals preparing the landscape design plans and irrigation design plans to make any necessary adjustments to the design plans and if required, submitted to the City prior to application.
- D. The contractor shall submit documentation verifying implementation of the soil analysis report recommendations to the City with certificate of completion.

SOIL PREPARATION AMENDMENTS AND BACKFILL MIX: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS FERTILITY ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS) The Landscape Contractor shall amend existing soil, by rototilling, 6 cu. yd. CCW Super Humus' compost and 20 lbs. organic fertilizer 'Phyta-Boost' 7-2-1 per 1,000 sq. ft., into the top 6 inches of soil in all planting areas. (or equal) Pit Planting Mix: for trees and shrubs mix 1/3 compost amendment and 2/3 amended topsoil as noted above.

TREE PLANTING: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS FERTILITY ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS). The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4 feet from curbs, walks, headers, buildings, overheads, and other trees within the project. Backfill shall be the 'Pit Planting Mix' as noted above. All trees shall receive organic fertilizer 'Phyta Boost' 7-1-2 -pelleted (or equal) for 15 gallon trees: 1 lb., 1/2 lb. for 5 gallon trees and shrubs. Mix fertilizer with backfill soil and thoroughly water trees immediately after planting.

ROOT BARRIERS: All trees planted within 5' of a paved surface shall receive a linear type root barrier 18" deep and 10' long centered on the tree trunk. (See detail)

SHRUB PLANTING: (THE FOLLOWING SOIL AMENDMENT PREPARATIONS ARE FOR BID PURPOSES ONLY, CONTRACTOR TO CONDUCT SOILS ANALYSIS TEST AND SUBMIT RESULTS TO CITY PRIOR TO IMPLEMENTING TEST RESULTS RECOMMENDATIONS). The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the 'Pit Planting Mix' as noted in 'Backfill soil mixes'. All shrubs shall receive 'Phyta-Boost' 7-1-2 organic fertilizer-pelleted (or equal) at the following rates: For 5 gallon shrubs: 1/2 lb. for 1 gallon shrubs: 1/4 lb. Mix fertilizer with backfill soil and thoroughly water shrubs immediately after planting. Do not plant any plant within 20" of any building wall.

MULCHING STREETSCAPES: Mulch all planting areas in parkway and within 12 ft. setback behind walkway with 8" deep layer of 4"-6" diameter river-washed cobbles. Keep 1" away from stems of plants to avoid smothering and rot while still covering rootball.

MULCHING ON-SITE: Mulch all parking islands, end-caps, and planters adjoining parking areas or pedestrian walks with 3" deep pea gravel tan-gray tones 1/8"-1/4" dia. Provide sample for approval prior to installation. Keep 1" away from stems of plants to avoid smothering and rot while still covering rootball.

MAINTENANCE: The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/tightening of stakes and ties, restoration of basins, provision of supplemental water by hand in addition to irrigation system as necessary. No pre-emergence herbicides shall be applied- hand remove weeds. Only organic fertilizers shall be applied such as those specified above. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Integrated pest management practices shall be implemented.

SUBSTITUTIONS: Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

GUARANTEE: All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

CLEAN UP: At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove defacements and stains. Remove construction equipment, excess materials and tools. Haul from Owners property the debris resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

FERTILIZERS: Available California Organics Fertilizers 1-800-269-5690 www.organicag.com
Compost available from Contra Costa Waste Management: www.contracostawaste.com

METAL EDGING: Install metal edging at interfaces of gravel mulch and hydroseed or firbark mulch areas. See plan for location and detail this sheet.

PLANTING NOTES-CONTINUED

METAL EDGING: Install metal edging at interfaces of gravel mulch and hydroseed or firbark mulch areas. See plan for location and detail this sheet.

HYDROSEED NOTES:

1. Clear away and remove all stones, rocks and debris measuring 2" in size or larger to a 6" depth
2. finish grade planting area to provide smooth even planting surface. Do not alter drainage patterns.
3. Non-irrigated hydroseed shall be applied during the months of October to March.
4. Install hydroseed according to manufacturer's specifications. See plant list for mixes.
5. Use blocking to cut off hydroseed application from spraying other planting areas.

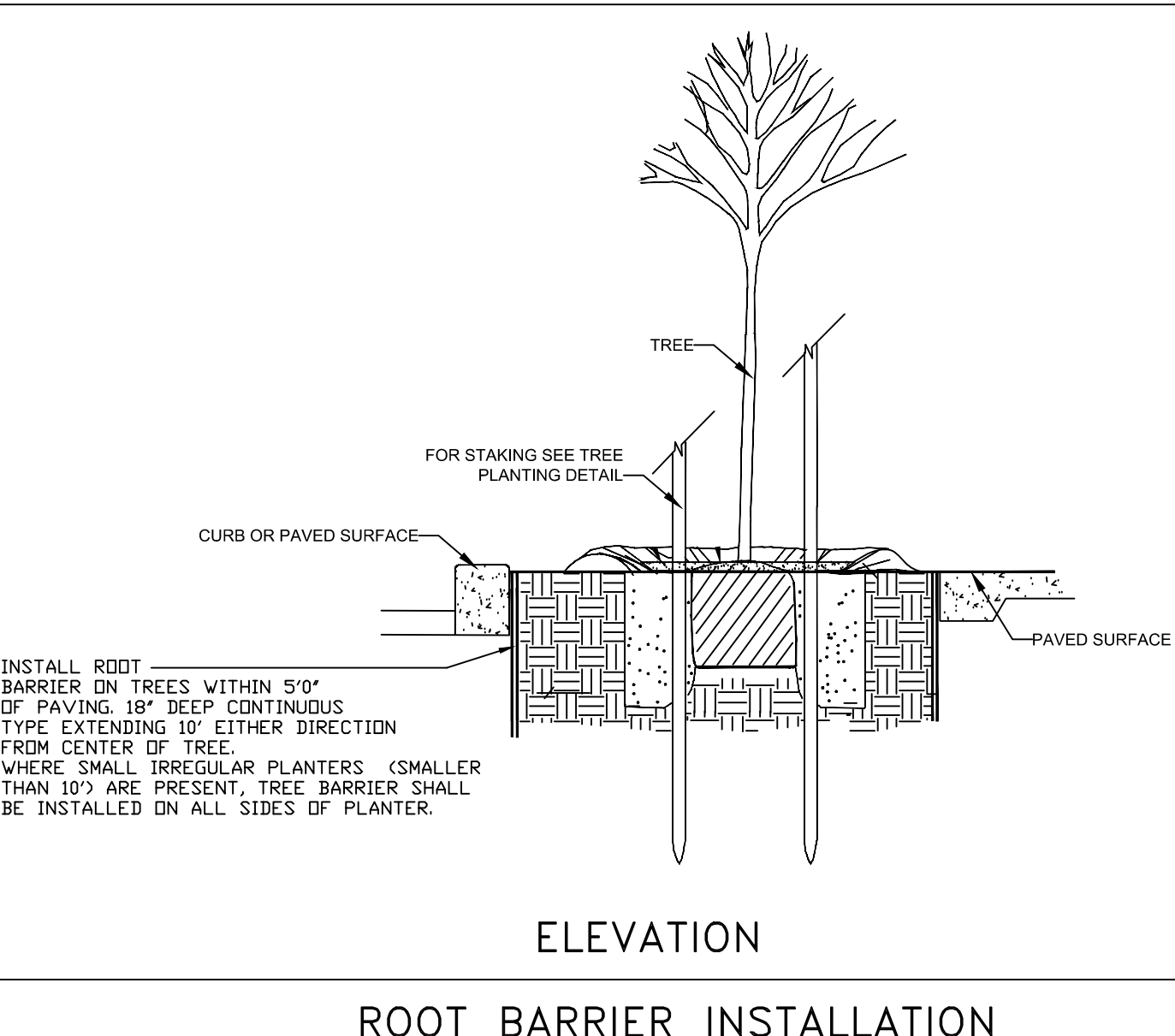
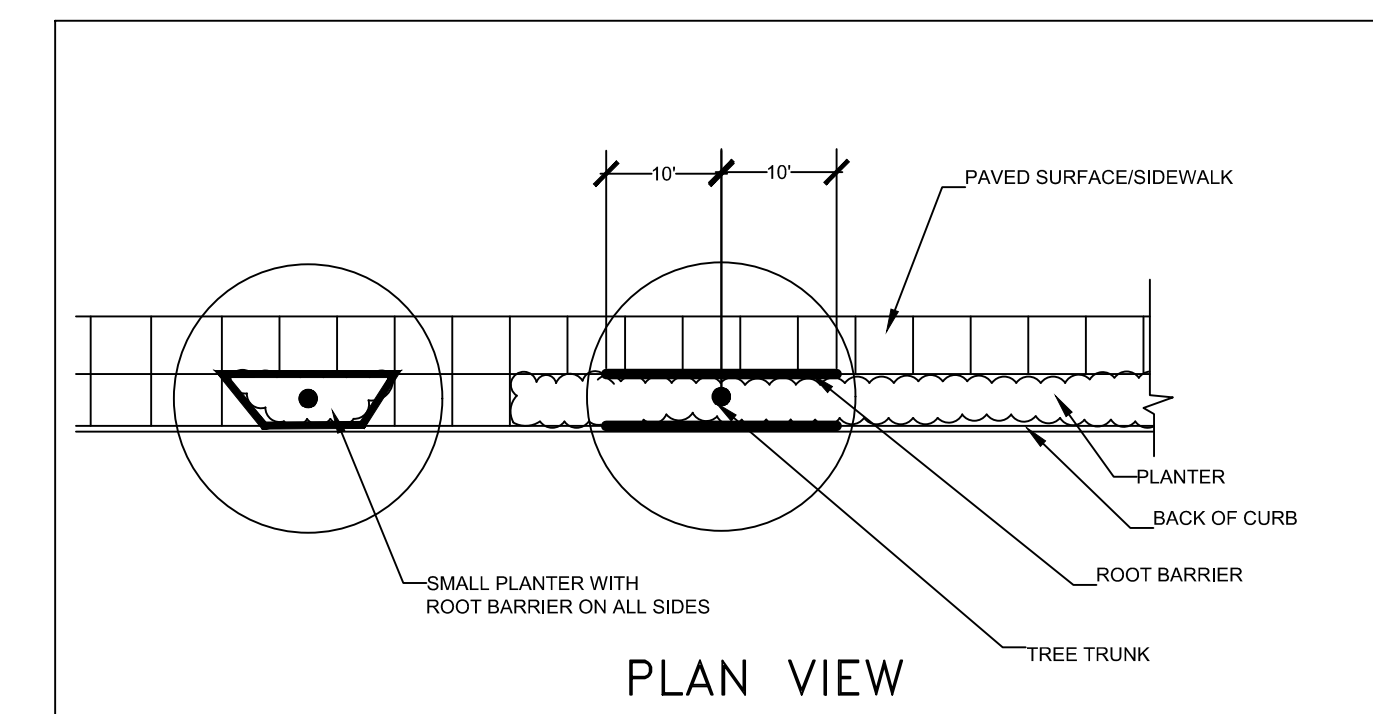
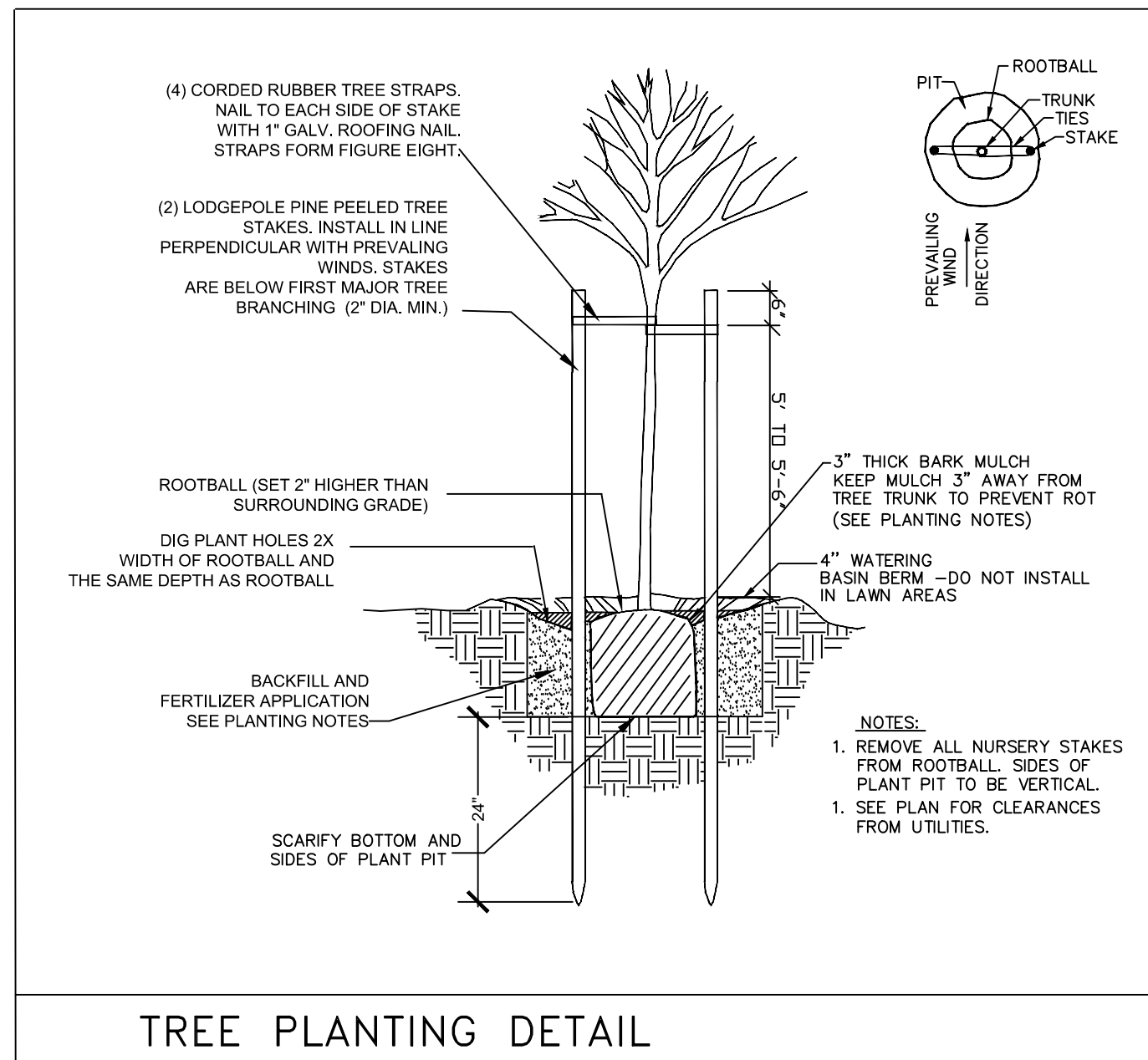
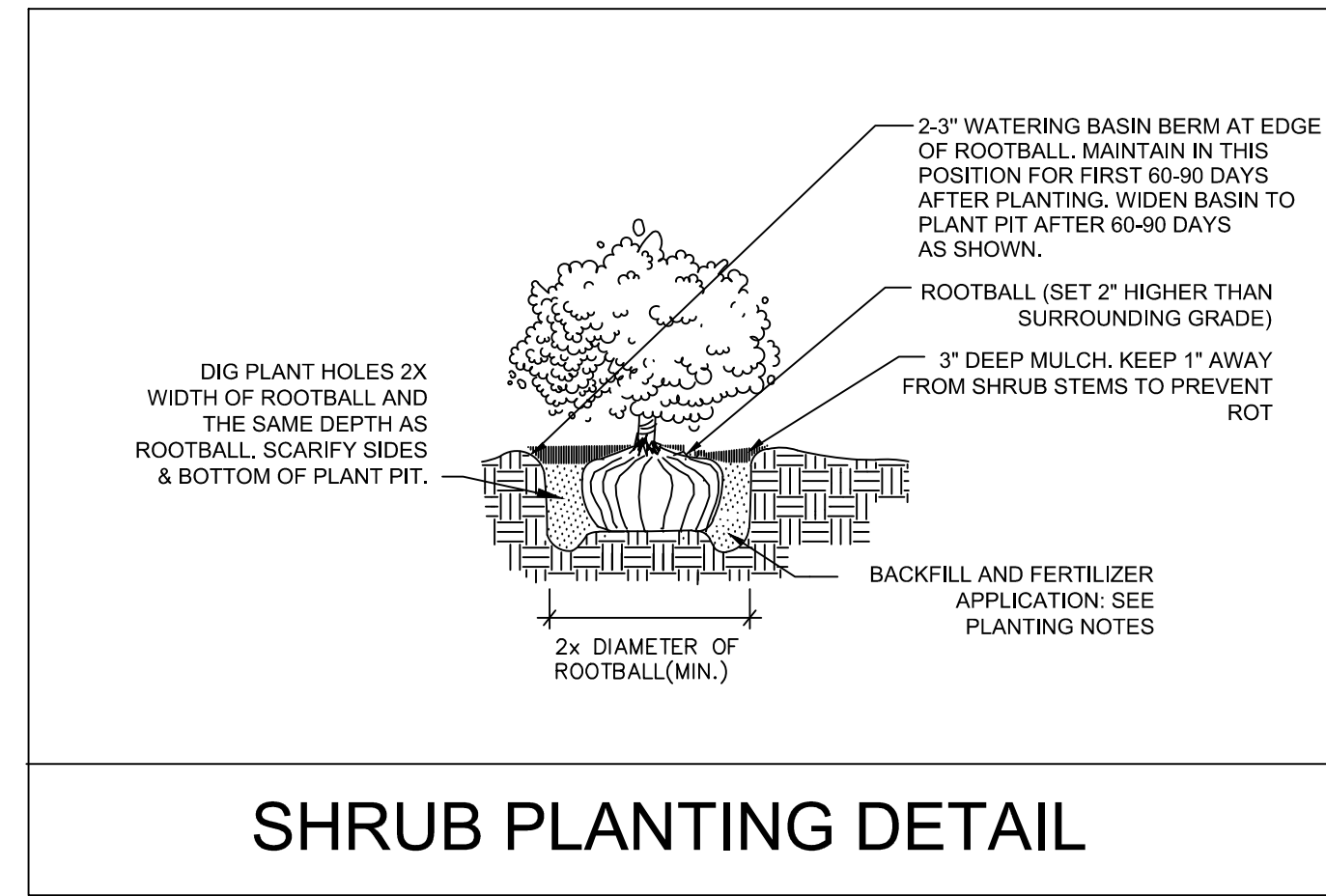
SPECIAL NOTES:

1. TREES TO BE KEPT TRIMMED TO 6'0" ABOVE PAVEMENT IN PEDESTRIAN PATHWAYS AND PARKING LOTS AND 13'0" ABOVE PAVEMENT IN TRUCK AISLES.

2. LANDSCAPE CONTRACTOR SHALL ADJUST PLANT MATERIALS AROUND ABOVE GROUND UTILITIES (IF LOCATION VARIES FROM PLANS) TO PROVIDE MAXIMUM SCREENING AND MAINTAIN REQUIRED CLEARANCES. CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.

GENERAL NOTES:

1. PLANS TO COMPLY WITH APPLICABLE CITY OF STOCKTON LANDSCAPE STANDARDS.
2. LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY OF STOCKTON WATER EFFICIENT LANDSCAPE ORDINANCE AND WATER CONSERVATION STANDARDS AS WELL AS APPLICABLE WATER CONSERVATION REQUIREMENTS OF THE STATE OF CALIFORNIA. THIS INCLUDES WATER USE CALCULATIONS AND WATER BUDGET CALCULATIONS FOR REVIEW.
3. COUNTY 'STATEMENT OF COMPLIANCE' SHALL BE SUBMITTED SIGNED BY LANDSCAPE ARCHITECT.
4. IRRIGATION TO BE A WATER CONSERVING DRIP TYPE SYSTEM WITH A WEATHER BASED 'SMART' CONTROLLER WITH RAIN SHUT OFF, MASTER VALVE AND FLOW SENSOR.
5. ALL UTILITIES INCLUDING BACKFLOW PREVENTERS, ENCLOSURES AND TRANSFORMERS SHALL BE SCREENED WITH PLANT MATERIALS 5 GALLON SIZE MINIMUM.



PLANT MATERIALS LIST	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS WATER USE
TREES:						
		CEDRUS DEODARA	DEODAR CEDAR	36	24" BOX	LOW
		LAGERSTROEMIA 'TUSCARORA'	CRAPE MYRTLE (STD.)	18	24" BOX	LOW
		PLATANUS ACERIFOLIA 'COLUMBIA'	LONDON PLANETREE	30	24" BOX	LOW
		QUERCUS COCCINEA	SCARLET OAK	21	24" BOX	MED
		QUERCUS ILEX	HOLLY OAK	19	24" BOX	LOW
		ULMUS PARVIFOLIA 'PROSPECTOR'	PROSPECTOR ELM	17	24" BOX	MED
SHRUBS:						
		ANIGOZANTHOS 'BUSH BABY'	KANGAROO PAW	101	1 GA	LOW
		CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	76	5 GA	LOW
		CISTUS SCIANBERGII	PINK ROCKROSE	91	5 GA	LOW
		DIETES BICOLOR	FORTNIGHT LILY	92	5 GA	LOW
		ELAEAGNUS MACULATA	SILVERLEAF ELAEAGNUS	201	5 GA	LOW
		FRANGULA CALIFOR. 'SEA VIEW'	COFFEEBERRY	110	5 GA	LOW
		NERIUM OLEANDER (WHITE)	WHITE OLEANDER	220	5 GA	LOW
		NERIUM OLEANDER 'PETITE SALMON'	DWARF OLEANDER	94	5 GA	LOW
		PHORMIUM 'YELLOW WAVE'	DWARF FLAX	45	5 GA	LOW
		SALVIA LEUCANTHA	SAGE	75	5 GA	LOW
GROUND COVER:						
		ACACIA REDOLENS 'LOW BOY'	PROSTRATE ACACIA	16,885 SF	1GA@ 48" O.C.	LOW
		MYOPORUM PARVIFOLIUM	MYOPORUM	5,883 SF	1GA@ 48" O.C.	LOW
		ROSMARINUS 'COLLINGWOOD INGRAM'	PROSTRATE ROSEMARY	7,940 SF	1GA@ 30" O.C.	LOW

IRRIGATED HYDROSEED
(APPROPRIATE FOR BASINS AND OPEN AREAS)

	BROMUS CARINATUS (NATIVE CALIFORNIA BROME)	12 LBS/ACRE
	ELYMUS GLAUCUS (BLUE WILDGRASS)	10 LBS/ACRE
	HORDEUM CALIFORNICUM (CALIFORNIA BARLEY)	8 LBS/ACRE
	VULPIA MICROSTACHYS (NCN)	6 LBS/ACRE
	FESTUCA IDAHOENSIS (IDAHO FESCUE)	5 LBS/ACRE
	NASSELLA PULCHRA (PURPLE NEEDLEGRASS)	5 LBS/ACRE
	POA SECUNDA (NATIVE PINE BLUEGRASS)	4 LBS/ACRE
	ESCHSCHOLZIA CALIFORNICA (CALIFORNIA POPPY)	2 LBS/ACRE
	LUPINUS NANUS (SKY LUPINE)	4 LBS/ACRE
	CLARIA PURPUREA (FAIRWELL TO SPRING)	1 LB/ACRE

BALANCE OF HYDROSEED INGREDIENTS
 'ENVIRO-POST' ORGANIC COMPOST FERTILIZER: 4 CU YDS/ACRE
 'HYDROSTRAW' WOOD FIBER: 2,500 LBS/ACRE
 STABILIZING 'M BINDER' OR EQUAL TO BE ADDED TO 'DRYLAND MIX' APPLICATION
 GREEN DYE MARKER ADDITIVE
 INSTALL PER MANUFACTURER'S SPECIFICATIONS
 AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE CA.
 (925)373-4417 www.pcseed.com

COBBLE SURFACE AROUND TRUCK TRAILER PARKING STALLS:
 CRUSHED GRAVEL OVER WEED BARRIER; PROVIDE 3" DEEP LAYER OF 3/8" CRUSHED GOLD GRAVEL.
 (PROVIDE SAMPLE PRIOR TO INSTALLATION)

PLANT COUNT NOTE:
 PLANT COUNTS SHOWN ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANT COUNTS PRIOR TO PLACING PLANT STOCK ORDERS.

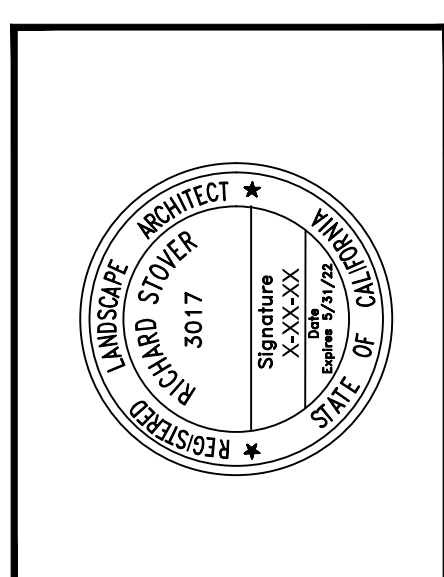
WATER EFFICIENT LANDSCAPE WORKSHEET - BY HYDROZONE										
REFERENCE EVAPOTRANSPIRATION (ET _o):										
49.1										
HYDROZONE #	HYDROZONE / (PLANT WATER USE)	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)	% OF TOTAL LANDSCAPE AREA
REGULAR LANDSCAPE AREA:										
1	LOW WATER USE	SHRUBS	0.3	DRIP	0.81	0.37037037	50,600	18740.74074	570505.6	48%
2	MEDIUM WATER USE	TREES	0.5	BUBBLER	0.81	0.61728395	1,251	772.2222222	23508.0	1%
3	LOW WATER USE	SHRUBS	0.3	SPRAY	0.75	0.4	53,668	21467.2	653604.5	51%
TOTALS:							105519	40980		100%
SPECIAL LANDSCAPE AREAS:										
REC. AREA							1	0	0	
POOL							1	0	0	
WATER FEATURE 2							1	0	0	
TOTALS:							0	0		
								ETWU TOTAL:	1,247,518	
								MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):	1,445,494	
ETAF CALCULATIONS:										
REGULAR LANDSCAPE AREAS:										
TOTAL ETAF x AREA				40,980						
TOTAL LANDSCAPE AREA				105,519						
AVERAGE ETAF				0.39						
ALL LANDSCAPE AREAS:										
TOTAL ETAF x AREA				40,980						
TOTAL LANDSCAPE AREA				105,519						
SITEWIDE ETAF				0.39						

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

WARE MALCOLM
 Leading Design for Commercial Real Estate

architecture
 planning
 graphics
 civil engineering

4685 chubb dr. suite 300
 Pleasanton, California 94568
 Tel: 925.244.9621
 Fax: 925.244.9621



WESTCORE
 1515 SOUTH FRESNO AVENUE
 STOCKTON, CALIFORNIA 95206

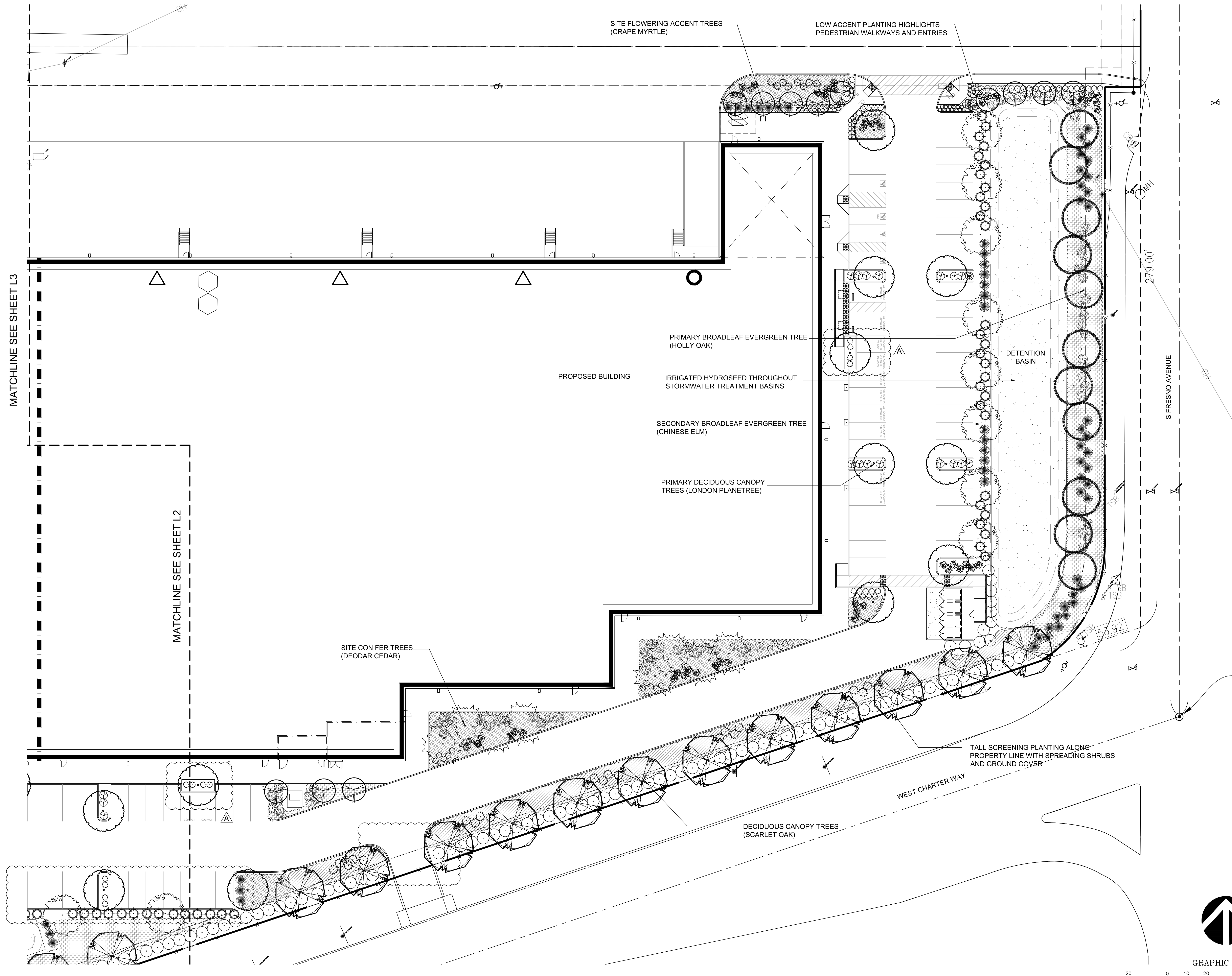
PLANT LIST, NOTES AND DETAILS			
DATE	REVISIONS	DATE	REVISIONS
12-13-21	Final Submittal		
4-25-22	Revised A - SITE PLAN REVIEW COMMENTS RESPONSE		

PA / PM: P. KING
 DRAWN BY:
 JOB NO.: SNR21-0017-00

SHEET
LO

RW Stover & Associates, Inc.
 Landscape Architecture
 1620 North Main Street, Suite 4
 Walnut Creek, CA 94596
 Ph: 925.933.2583

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOLM AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOLM. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOLM PRIOR TO THE COMMENCEMENT OF ANY WORK.



MATCHLINE SEE SHEET L3

MATCHLINE SEE SHEET L2

SITE FLOWERING ACCENT TREES (CRAPE MYRTLE)

LOW ACCENT PLANTING HIGHLIGHTS PEDESTRIAN WALKWAYS AND ENTRIES

PRIMARY BROADLEAF EVERGREEN TREE (HOLLY OAK)

IRRIGATED HYDROSEED THROUGHOUT STORMWATER TREATMENT BASINS

SECONDARY BROADLEAF EVERGREEN TREE (CHINESE ELM)

PRIMARY DECIDUOUS CANOPY TREES (LONDON PLANETREE)

SITE CONIFER TREES (DEODAR CEDAR)

DECIDUOUS CANOPY TREES (SCARLET OAK)

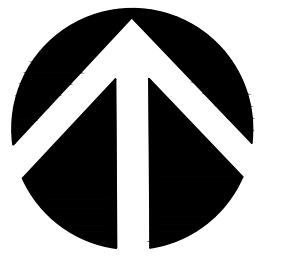
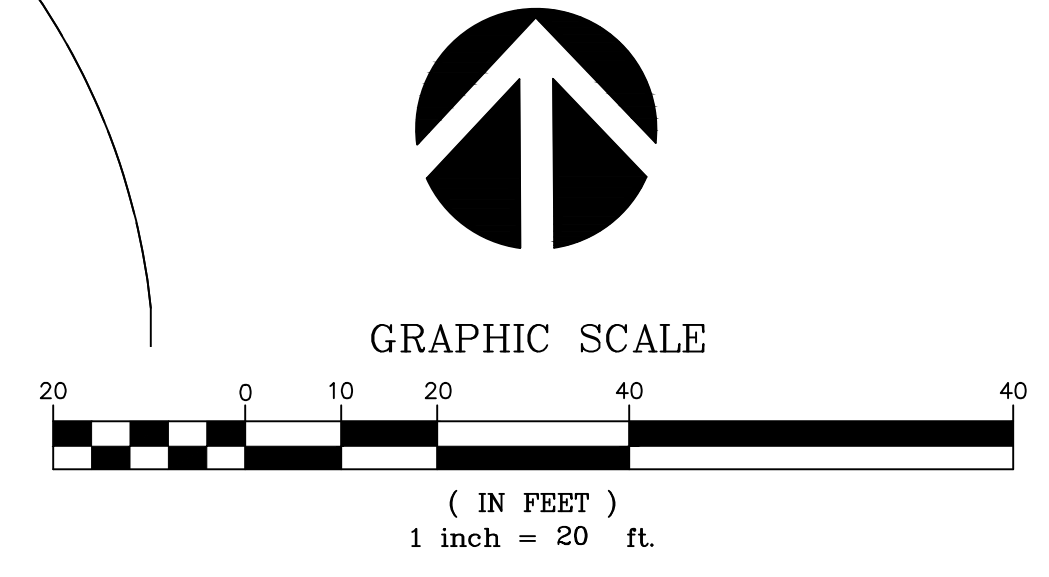
TALL SCREENING PLANTING ALONG PROPERTY LINE WITH SPREADING SHRUBS AND GROUND COVER

WEST CHARTER WAY

S FRESNO AVENUE

279.00'

53.92'



REFER TO SHEET L0 FOR PLANT LIST, NOTES AND DETAILS

RW Stover & Associates, Inc.
 Landscape Architecture
 1620 North Main Street, Suite 4
 Walnut Creek, CA 94596
 Ph: 925.933.2583

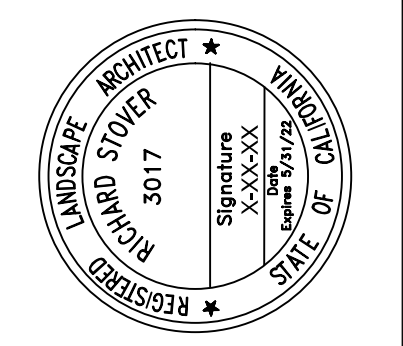
PRELIMINARY LANDSCAPE PLAN

DATE	REVISIONS	DATE	REVISIONS
12-13-21	Final Submittal		
4-25-22	Adopted A - SITE PLAN REVIEW COMMENTS RESPONSE		

PA / PM: P. KING
 DRAWN BY:
 JOB NO.: SNR21-0017-00

SHEET
L1

WESTCORE
 1515 SOUTH FRESNO AVENUE
 STOCKTON, CALIFORNIA 95206



WARE, MALCOLM
 Leading Design for Commercial Real Estate
 architecture
 planning
 graphics
 civil engineering
 4685 chabot dr. suite 300
 Pleasanton, California 94588
 Phone: 925.234.9621
 Fax: 925.234.9621

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOLM AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOLM. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOLM PRIOR TO THE COMMENCEMENT OF ANY WORK.

September 2, 2022

A20664-001

CALIFORNIA DEPARTMENT OF TRANSPORTATION

Office of the District 10 Director

Attn: Tom Dumas

P.O. Box 2048

Stockton, CA 95201

**RE: Comment Responses – 1515 S. Fresno Avenue, Stockton
Permit #: 10-SJ-4-PM 015.096, Plan Check #: 3**

Dear Tom,

The following pages include Kier & Wright responses to the California Department of Transportation plan check comments dated August 25, 2022.

If you have any questions regarding the comments prepared by our team, please contact me directly.

Sincerely,

KIER & WRIGHT



Mike Ebenal, PE (CA/NV), QSD/P

SENIOR ENGINEERING MANAGER

mebenal@kierwright.com

209.328.1123

COMMENT RESPONSES

Kier & Wright's responses are provided below in red.

CALTRANS

GENERAL COMMENTS

- COMMENT:** During the meeting call on August 19, 2022, the applicant's engineer stated that they will install sidewalk, curb, and gutter on their proposed development frontage on SR 4 and improve the intersection of SR 4 and Fresno Ave for STAA truck if Phase 3 of the K. Hovanian project (Permit # 10-22-6-MC-0255) does not cover these improvements or the permit did not go through. Since this review is in the site plan review stage, the applicant does not have to address the comments below at this time. However, when this proposed development is submitted for formal planning review by the local lead agency, these comments will need to be addressed and satisfied prior to the final approval of the final permit.

RESPONSE: *Agreed.*
- COMMENT:** Caltrans District 10 Hydraulics concurs with drainage-related revisions to the plans and has no further comments.

RESPONSE: *Nothing needed at this time.*
- COMMENT:** Improvements must be designed in accordance with Caltrans standards that are in effect at the time this project develops.

RESPONSE: *Agreed. Site plan updated.*
- COMMENT:** The proposed emergency vehicle access to the west of Fresno Ave on SR 4 needs to be designed up to current Caltrans standards, not the City of Stockton standards. The emergency vehicle access needs to be closed at all time.

RESPONSE: *Noted and updated.*
- COMMENT:** Please explain why the retention basin to the west of Fresno Ave on SR 4 is called "Retention Caltrans" or relabel as appropriate.

RESPONSE: *The retention basin is no longer used for SR 4 runoff. Retention basin updated.*
- COMMENT:** With reference to the attached memorandum dated August 19, 2022 submitted to our Department please see the attached letter with Caltrans responses in blue. Please note that an STAA Permit and Terminal Access via SR 4/Fresno Avenue will require improvements to accommodate STAA turn movements. These improvements will need to be made by the applicant in coordination with Caltrans. The City will need to evaluate and approve access points prior to granting Terminal Access.

RESPONSE: *Agreed.*
- COMMENT:** An Encroachment Permit will be required for work (if any) done within the Department's right of way. This work is subject to the California Environmental Quality Act. Therefore, environmental studies may be required as part of the encroachment permits application. A qualified professional must conduct any such studies undertaken to satisfy the Department's environmental review responsibilities. Ground disturbing activities to the site prior to completion and/or approval of required environmental documents may affect the Department's ability to issue a permit for the project. Furthermore, if engineering plans or drawings will be part of your permit application, they should be prepared in standard units.

RESPONSE: *Noted.*

Alex Guilbert

From: Bradley Wall
Sent: Tuesday, September 13, 2022 7:48 AM
To: Alex Guilbert
Subject: FW: 1515 Fresno Av APN 16337034
Attachments: Pict 9.jpg; Pict 8.jpg; Pict 7.jpg; Pict 6.jpg; Pict 5.jpg; pict 4.jpg; pict 3.jpg; pict 2.jpg; pict 1.jpg

From: John Schweigerdt <John.Schweigerdt@stocktonca.gov>
Sent: Wednesday, September 7, 2022 5:14 PM
To: Michael McDowell <Michael.McDowell@stocktonca.gov>; Bradley Wall <Bradley.Wall@stocktonca.gov>
Subject: FW: 1515 Fresno Av APN 16337034

Mike/Brad,

Giving you a heads up about this as I know there has been a lot of interest/activity/communication regarding this property in recent months. We performed an emergency demolition today of the building on the corner of Navy Dr and Fresno Ave due to a catastrophic fire. Attached are some photos and below is an email from Code Enforcement with some additional details.



John Schweigerdt, CBO, CASp
DEPUTY DIRECTOR - BUILDING & LIFE SAFETY
Community Development Department
345 N. El Dorado St., Stockton CA 95202
Office: 209.937.8561 Direct: 209.937.8565

**CUSTOMER
SATISFACTION
SURVEY**



Please tell us how we're doing by
completing our survey [HERE](#)

From: Wesley Thorne <Wesley.Thorne@stocktonca.gov>

Sent: Wednesday, September 7, 2022 9:35 AM

To: John Schweigerdt <John.Schweigerdt@stocktonca.gov>; Alex Martinez <Alex.Martinez@stocktonca.gov>; Matthew VanFleet <Matthew.VanFleet@stocktonca.gov>; Neil Baysinger <Neil.Baysinger@stocktonca.gov>

Subject: 1515 Fresno Av APN 16337034

Good Morning,

There was a fire at this location at about 02:30 resulting in a catastrophic damage to it. PG@E has cut all electrical lines going to the effected building and has a crew enroute to cut gas lines in the street. The PO Susan (949) 637-7098 has a general contractor as well as a demo contractor on scene. They will be headed to Building Division soon. Fire Department states that building needs to be demoed to put out the fire as well as to allow inspectors to check for cadavers. Please see attached picts. East side wall no longer supported and HVAC unit is no longer supported by structure. The building in question is on the North East side of the parcel.

Thank you

Wesley Thorne
City of Stockton Code Enforcement
(209) 937-7004



CITY OF STOCKTON

COMMUNITY DEVELOPMENT DEPARTMENT

345 North El Dorado Street • Stockton, CA 95202-1997 • (209) 937-8266 • Fax (209) 937-8893

December 27, 2022

Archille Cuyle
174 Lawrence Drive, Suite A
Livermore, CA 94551
Acuyle@bayareatents.com
(925) 605-2900

RE: Temporary Activity Permit P22-0988 (1405 Fresno Av, APN#: 163-370-32)

This letter provides the Director's approval of Temporary Activity Permit Application P22-0988 to allow two temporary tents for WestHub to store merchandise in, to be removed by May 1, 2023, herein referred to as the "project." The project is located at 1405 Fresno Av, APN: 163-370-32, within the IG (Industrial, General) zoning district with a General Plan designation of Industrial.

Analysis

The proposed tents will be 50'x140'x10' and 50'x40'x10' in size, and will be located near the south side of the property, behind the existing building. The purpose of the tents is to allow temporary storage of the store merchandise, while the existing building sprinkler system is being upgraded and replaced.

WestHub building sprinkler system work will begin in January 2023 and will be completed by March 31, 2023. There will be no public access to the tents during that time. This approval is based on the following findings and conditions of approval outlined below.

Findings

1. The proposed temporary activity would be consistent with the general land uses, objectives, policies, and programs of the General Plan and any applicable specific plan, precise road plan, or master development plan. (SMC §16.164.050(A)).
2. The establishment, maintenance, or operation of the proposed temporary activity at the location proposed and within the time period(s) identified would not endanger, jeopardize,

or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed activity. (SMC §16.164.050(B))

3. The proposed site would be adequate in terms of location, shape, and size to accommodate the temporary activity. (SMC §16.164.050(C))
4. The design, location, size, and operating characteristics of the proposed temporary activity would be compatible with the existing and future land uses in the vicinity. (SMC §16.164.050(F))
5. Approved measures for removal of the temporary activity and site restoration have been required to ensure that no changes to the site would limit the range of possible future land uses otherwise allowed by this Development Code. (SMC §16.164.050(G))
6. The proposed permit would be in compliance with the provisions of the California Environmental Quality Act (CEQA) and the City's CEQA Guidelines. (SMC §16.164.050(H))

Project-Specific Requirements

1. This approval is subject to the plans and operational parameters identified in Exhibit 1. All operation parameters referenced therein are required as part of this approval.
2. Project area is limited to spaces provided on the site plan and shall be located entirely out of the drive aisle.
3. A Fire Permit and subsequent fire safety inspection will need to be issued to the applicant prior to the start-up date.
4. Tents and other auxiliary equipment shall comply with Chapter 31 of the California Fire Code. Contact the City of Stockton Fire Prevention Division regarding any required Fire Permits.

Standard Requirements

1. This approval is effective immediately, unless appealed in accordance with SMC §16.100 (Appeals).
2. Changes to this approval shall be considered in accordance with SMC Chapter 16.104 (Changes to an Approved Project).
3. Compliance with these conditions is mandatory. Failure to comply with these conditions is unlawful, constitutes a public nuisance, and is subject to the remedies and penalties identified in the Stockton Municipal Code, including but not limited to, monetary fines and revocation or modification of said approval(s).
4. Each site occupied by a temporary activity shall be completely free of all evidence of the activity within seven (7) days following the termination of the activity. Temporary activities

that do not comply with this standard shall be subject to code enforcement action, in compliance with SMC Chapter 16.224 (Enforcement).

5. No signs shall be posted on City property unless prior approval is granted.

If you have any questions, please do not hesitate to contact me at Susie.Kuo.Ctr@stocktonca.gov or (209) 937-7564.

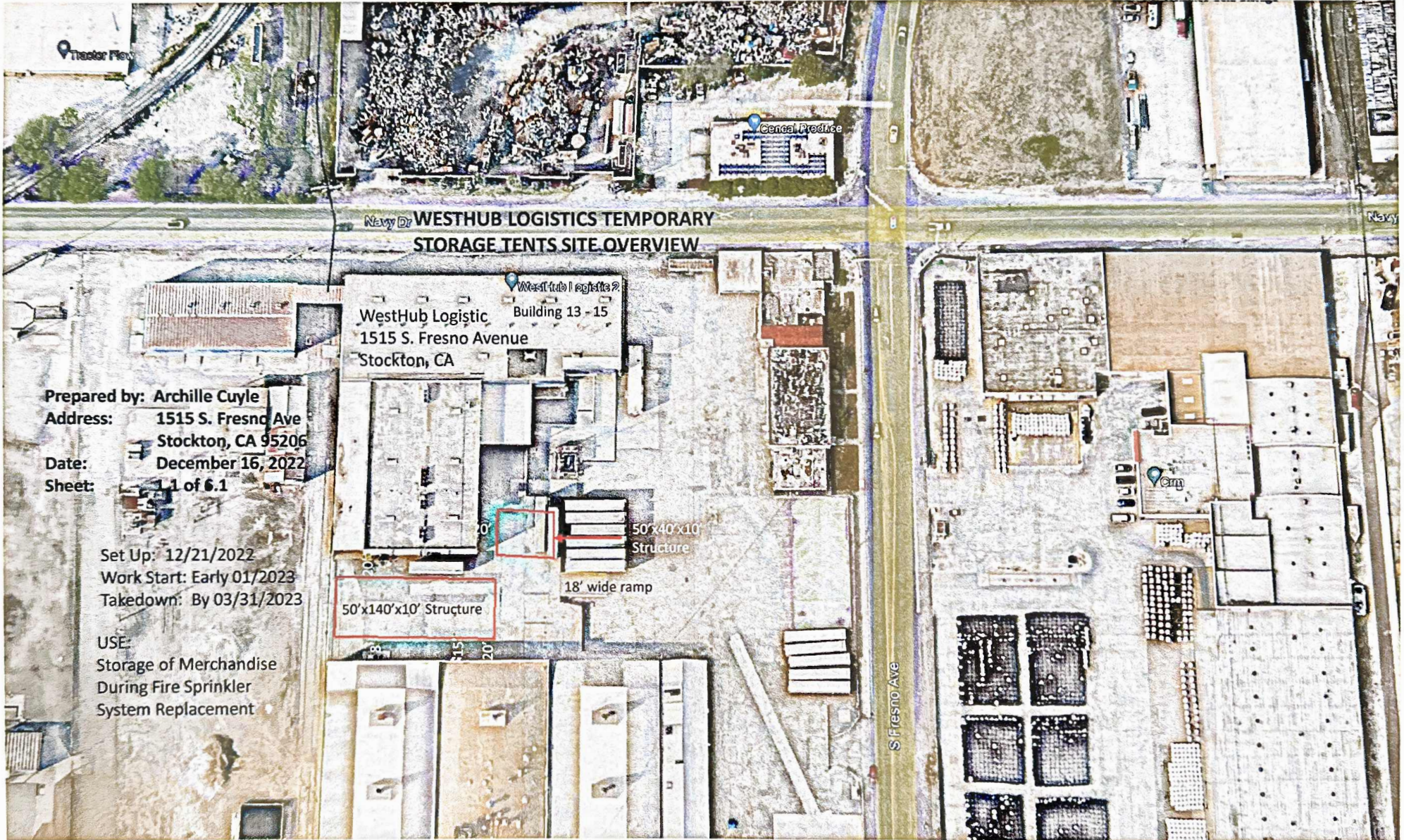
Respectfully,

A handwritten signature in cursive script that reads "Susie K." followed by a period.

Susie Kuo
Contract Planner
City of Stockton | Community Development Department

Attachment: Exhibit 1 – Plans

Site Plan Review



Prepared by: Archille Cuyle
Address: 1515 S. Fresno Ave
Stockton, CA 95206
Date: December 16, 2022
Sheet: 1 of 6.1

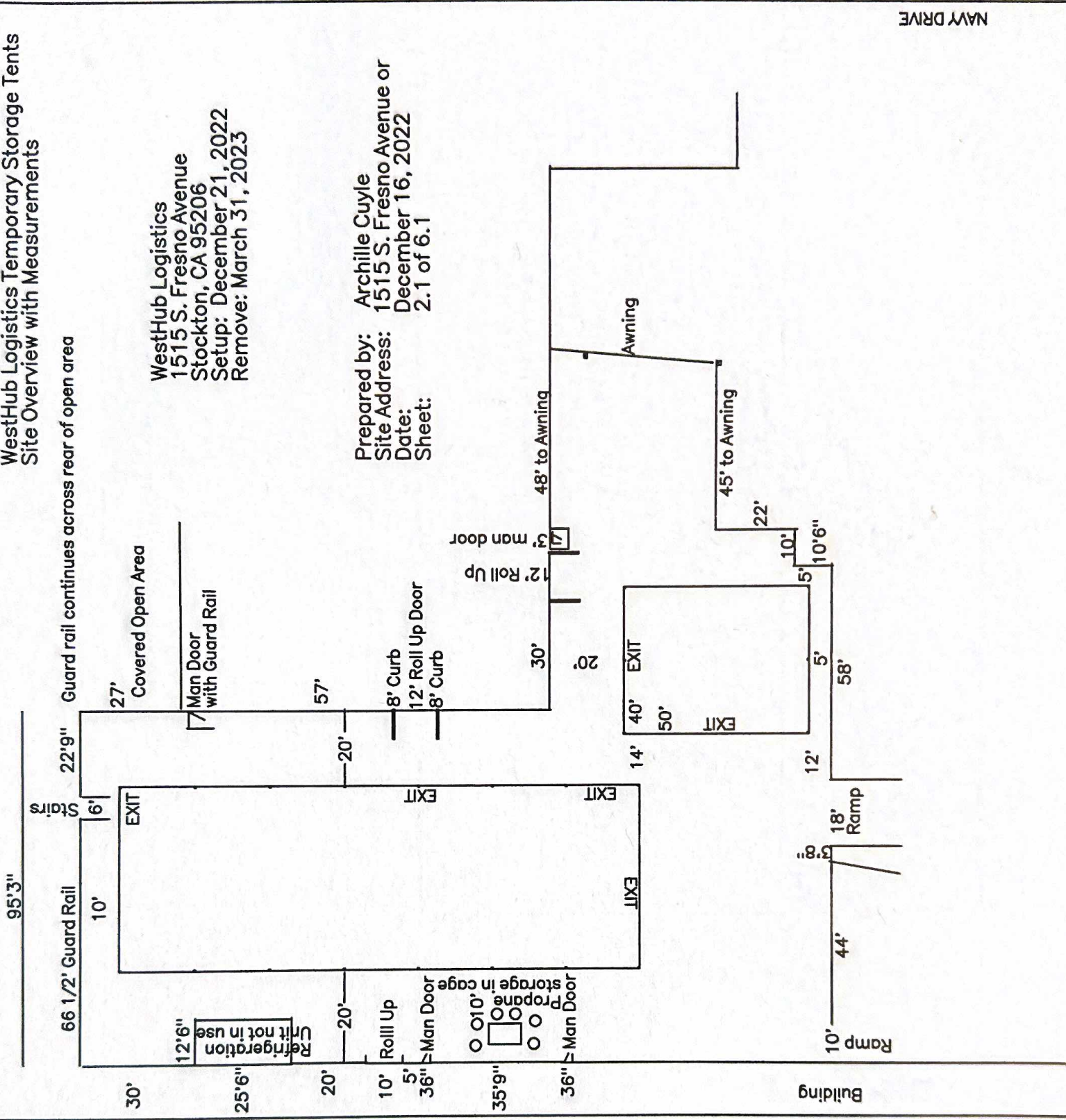
Set Up: 12/21/2022
Work Start: Early 01/2023
Takedown: By 03/31/2023

USE:
Storage of Merchandise
During Fire Sprinkler
System Replacement

WestHub Logistics Temporary Storage Tents
Site Overview with Measurements

WestHub Logistics
1515 S. Fresno Avenue
Stockton, CA 95206
Setup: December 21, 2022
Remove: March 31, 2023

Prepared by: Archille Cuyle
Site Address: 1515 S. Fresno Avenue or
Date: December 16, 2022
Sheet: 2.1 of 6.1



FRESNO AVENUE

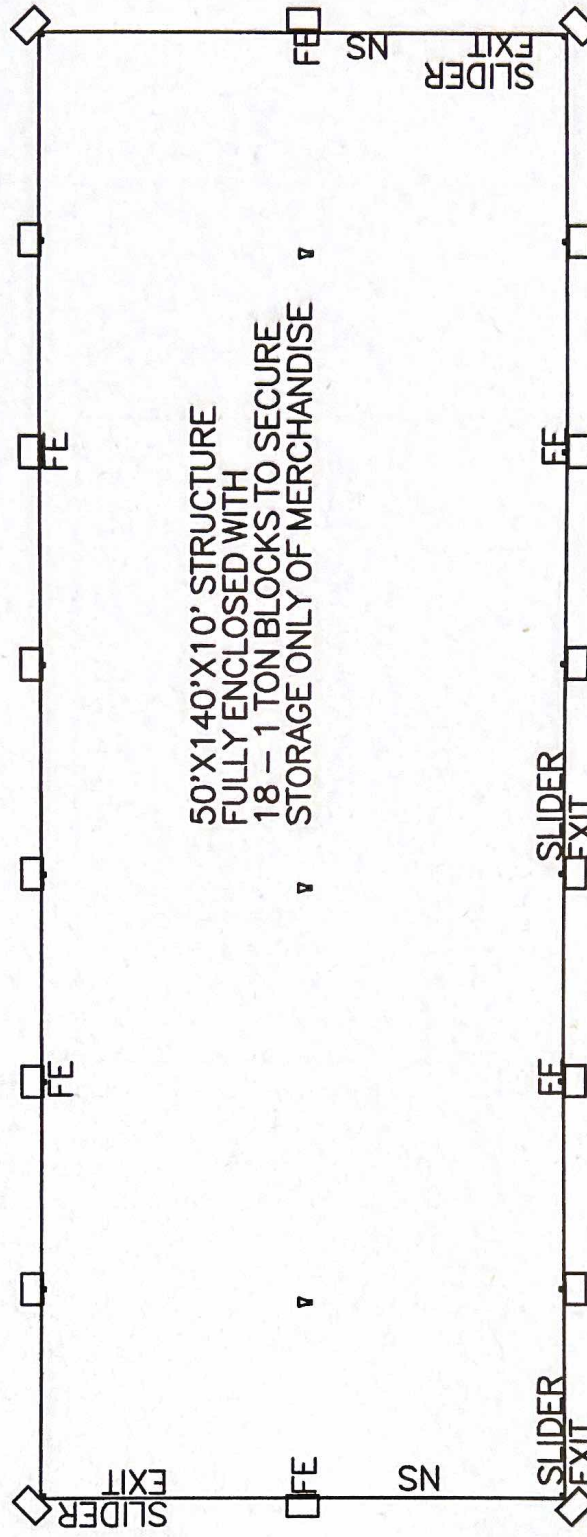
SCALE: 5/16" = 10'

WestHub Logistics Temporary Storage Tents

50x140 Layout

WESTHUB LOGISTICS
 1515 S. FRESNO STREET
 STOCKTON, CA
 SETUP: DECEMBER 21, 2022
 REMOVE: MARCH 31, 2023

Prepared By: Archille Cuyle
 Address: 1515 S. Fresno Ave
 1405 S. Fresno Ave
 Prepared: December 16, 2022
 Sheet: 3.1 of 6.1



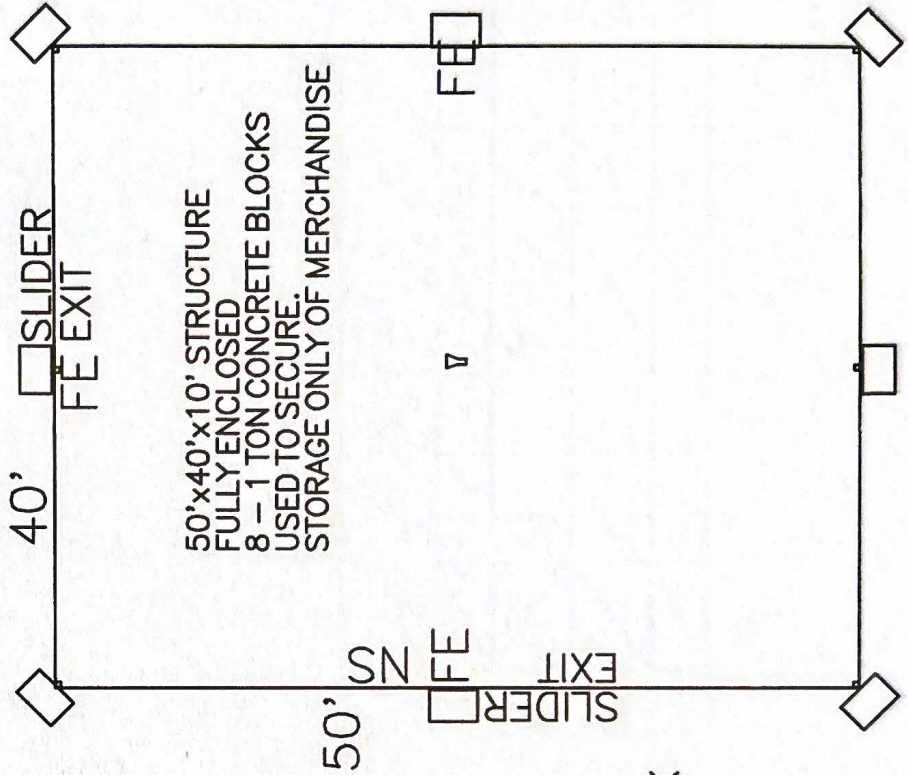
- LEGEND:
- EXIT - LIGHTED EXIT WITH EMERGENCY EXIT ON SLIDER
 - FE - FIRE EXTINGUISHER 2A10BC
 - NS - NO SMOKING SIGN
 - ▽ - HALIDE LIGHT
 - - 1 TON CONCRETE BLOCK

SCALE - 3/8" = 10'

WestHub Logistics Temporary Storage Tents
50x'x40' Layout

WESTHUB LOGISTICS
1515 S. FRESNO AVENUE
STOCKTON, CA
SETUP: DECEMBER 21, 2022
REMOVE: MARCH 31, 2023

Prepared By: Archille Cuyle
Address: 1515 S. Fresno Ave
Prepared: December 16, 2022
Sheet: 4.1 of 6.1



50'x40'x10' STRUCTURE
FULLY ENCLOSED
8 - 1 TON CONCRETE BLOCKS
USED TO SECURE
STORAGE ONLY OF MERCHANDISE

- LEGEND:
- EXIT - LIGHTED EXIT WITH EMERGENCY BACKUP ON SLIDER
 - FE - FIRE EXT. 2A10BC
 - NS - NO SMOKING SIGN
 - ▽ - HALIDE LIGHT
 - - 1 TON CONCRETE BLOCK

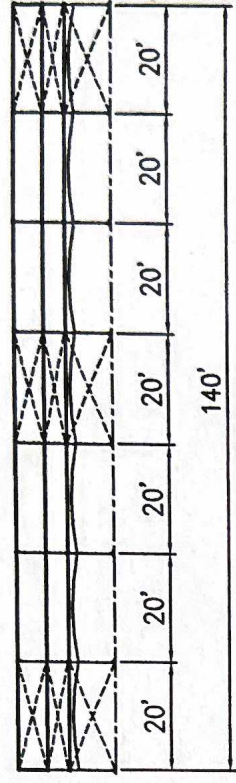
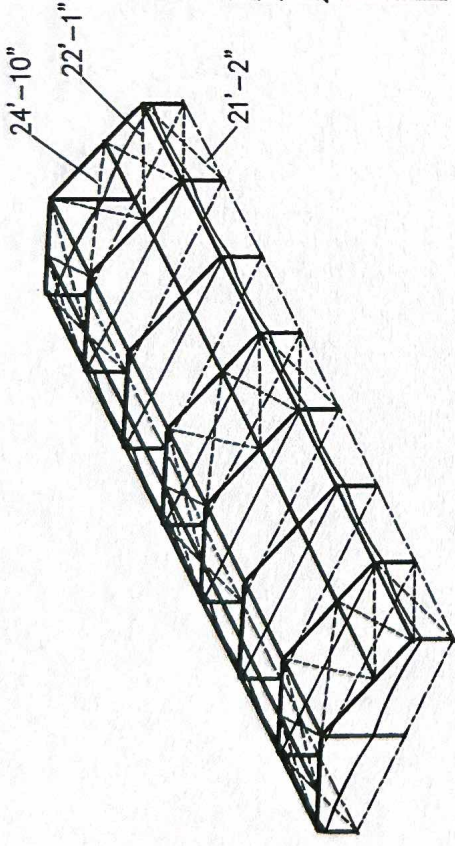
SCALE - 3/5/16" = 40'

TECTRAC SK		PART DESCRIPTION		DATE	ORDER	TECTRAC SK\50x140 SK	
CENTER CLEAR STRUCTURE / STANDARD		CODE	SIZE	02/09/06	CM	020906 1255	
50' W x 140' L x 8' LEG		REV	REV	02/09/06	KT	-	
TCSK		A-501408 - TECTRAC		DRAWN		DESIGNED	
TECTRAC SK		TCSK		DATE		ORDER	
TECTRAC SK		TCSK		DATE		ORDER	

ALL DATA AND INFORMATION CONTAINED IN OR DISCLOSED BY THIS DOCUMENT IS CONFIDENTIAL AND PROPRIETARY INFORMATION OF AZTEC. TERMS AND ALL RIGHTS THEREIN ARE EXPRESSLY RESERVED. BY ACCEPTING AND INSTALLING THE RECIPIENT AGREES THAT THIS MATERIAL AND INFORMATION CONTAINED THEREIN IS HELD IN CONFIDENCE AND IN TRUST AND WILL NOT BE COPIED, REPRODUCED WHOLE OR IN PART, NOR ITS CONTENTS REVEALED IN ANY MANNER TO OTHERS, EXCEPT TO MEET THE SPECIFIC PURPOSE FOR WHICH IT WAS DELIVERED.

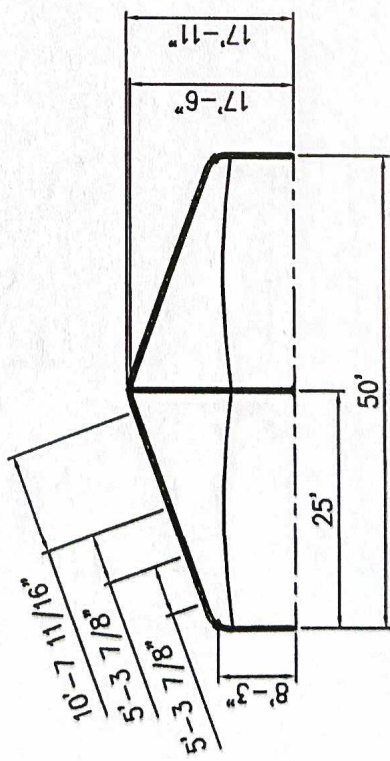
2665 COLUMBIA ST. TORRANCE, CA. 90503
 (800) 228-3687 - FAX (310) 361-0722
AZTEC

WestHub Logistics Temporary Storage Tent
 50'x140' Manufacturer Schematic

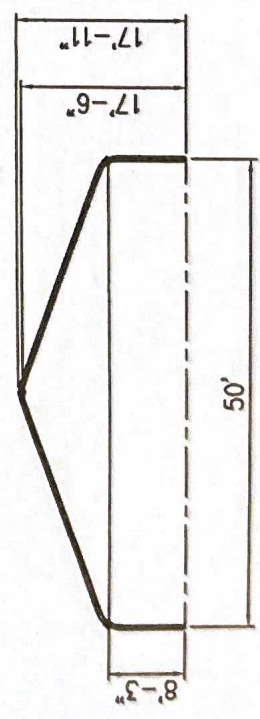


SIDE ELEVATION

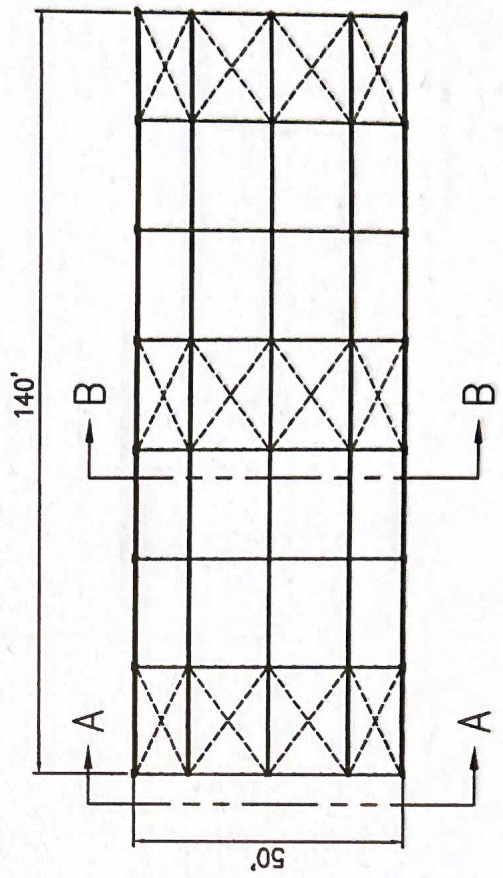
1515 S. Fremont Ave
 Sheet 6.1 of 6.1



VIEW A-A



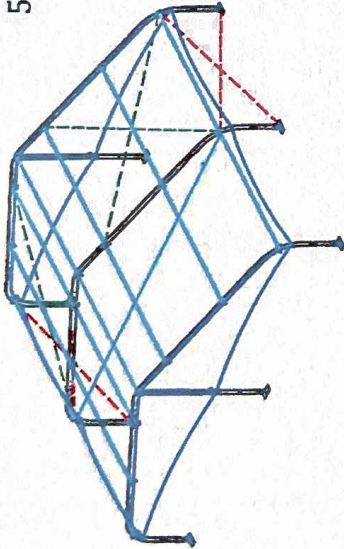
VIEW B-B



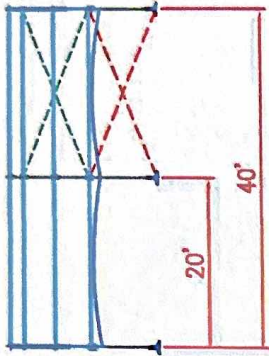
PLAN ELEVATION

WestHub Logistics Temporary Storage Tents
50'x40' Manufacturer Schematic

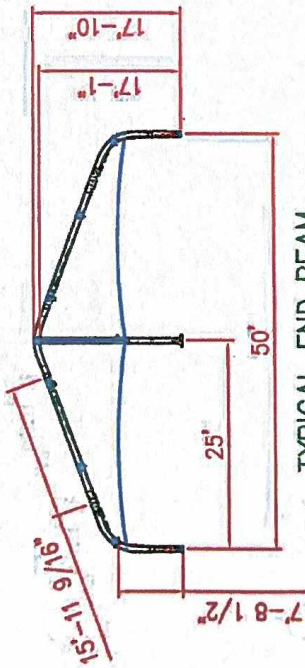
1515 S. Fresno Ave
Sheet 5.1 of 6.1



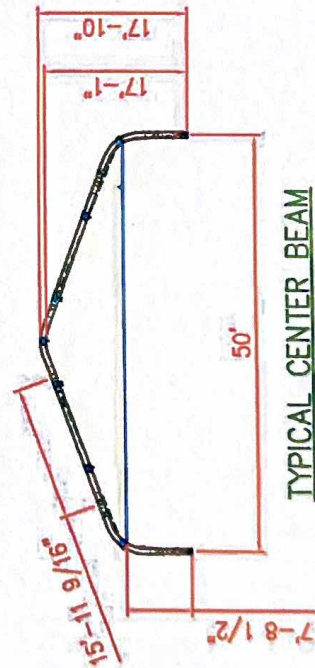
ISOMETRIC ELEVATION



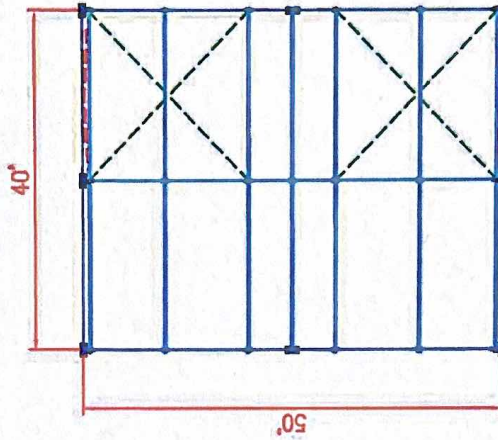
SIDE ELEVATION



TYPICAL END BEAM



TYPICAL CENTER BEAM



PLAN ELEVATION

ALL DATA AND INFORMATION CONTAINED IN OR DISCLOSED BY THIS DOCUMENT IS CONFIDENTIAL AND PROPRIETARY INFORMATION OF AZTEC TENTS. THE RECIPIENT AGREES THAT THIS MATERIAL AND INFORMATION CONTAINED HEREIN IS HELD IN CONFIDENCE AND IN TRUST AND WILL NOT BE COPIED, REPRODUCED, WHOLE OR IN PART, NOR ITS CONTENTS REVEALED IN ANY MANNER TO OTHERS, EXCEPT TO MEET THE SPECIFIC PURPOSE FOR WHICH IT WAS DELIVERED.

AZTEC TENTS
DESIGN & PRODUCTION
2665 COLUMBIA ST. TORRANCE, CA. 90503
(800) 228-3687 - FAX (310) 381-0722

PART NUMBER: ZX00000X
TECTRAC LK STRUCTURE
CENTER CLEAR STRUCTURE/STANDARD
50'W X 40'L X 8'LEG

REV.	DESCRIPTION	BY	DATE

REVISION HISTORY

CONFIDENTIAL

ENGINEER: N/A DATE: 6/3/2016
PAGE: 1 OF 1 DRAWN: HUGO.R